

El Sobrante Municipal Advisory Council

Location: **El Sobrante Library** 4191 Appian Way, El Sobrante

Mailing address: **3769-B San Pablo Dam Road, ES, 94803**

Meets on the **2nd Wednesday** of the month at **7:00 P.M.**

The ESMAC is an advisory body to the Board of Supervisors

Chair: *vacant* **Vice Chair:** Thomas Lang **Secretary:** Tom Owens

Members at-large: Jim Hermann, Dr. Melinda V. McLain, Joe Sarapochillo, Mikki Norris

Alternates: Shirley Rosenthal-Winston, *vacancy*

The El Sobrante Municipal Advisory Council (ESMAC) or subcommittees of ESMAC will provide reasonable accommodation for persons with disabilities planning to attend ESMAC meetings or ESMAC subcommittee meetings. Please contact James Lyons at least 24 hours before the meeting at: james.lyons@bos.cccounty.us or 510-231-8692

Printed agendas are available for review at the El Sobrante Chamber of Commerce and at the Sheriff's Annex office. Electronic copies are available for download at:
www.cocobos.org/gioia/elsobrantemac

AGENDA for Wednesday, January 08, 2020 7:00 PM

Pledge of Allegiance

Call to Order/Welcome/Roll Call

Election of Officers

Approval of Minutes – Minutes for December 11, 2019 ESMAC meeting

Treasurer's Report – James Lyons, District Coordinator, Office of Supervisor John Gioia

Introduction of Speakers

Public Comment – for items not on the agenda.

Limit 2 minutes per speaker

P.1 Presentation by Sheriff's Office, Bay Station Commander, Lt. Joseph Buford

Questions – limit 2 minutes per speaker

P.2 Presentation by California Highway Patrol, Officer Sean Wilkenfeld

Questions – limit 2 minutes per speaker

P.3 Presentation by Contra Costa County Fire Protection District

Questions – limit 2 minutes per speaker

P.4 Presentation by representatives of The Artist Tree on their proposed application to obtain land use approval to open a retail cannabis facility and art gallery at 4100 San Pablo Dam Rd., El Sobrante (informational)

Questions – limit 2 minutes per speaker

P.5 Presentation by James Lyons, District Coordinator for Supervisor John Gioia, monthly report

Questions – limit 2 minutes per speaker

Public Comment – for items not on the agenda.

Limit 2 minutes per speaker

Discussions Items – The Council will consider and act on the following:

Development plan applications, variance reports, building modification requests, appeals etc., received in the previous month from the Contra Costa County Conservation and Development Department and Notices of Public Hearings.

DI.1 – County File# VR19-1053. Applicant requests approval of a variance for a 1 foot front yard (where 20’ feet is required) and a 5’ sideyard (where 10’ feet is required) in order to construct an equipment shelter for a new Verizon cell site approved through County File #LP18-2023. The subject property is located at 90 Tavaszi Terrace, El Sobrante.

DI.2 – Discuss the formation of an Illegal dumping subcommittee.

Information Items

10.1 – Contra Costa County Zoning Administrator Meeting. Monday, January 6, 2020.

10.2 – Contra Costa County Planning Commission Meeting. Wednesday, January 8, 2020.

ESMAC Subcommittees

11.1 ESMAC Land Use

11.2 ESMAC Safety

11.3 ESMAC Education Programs/ Outreach

Announcements:

- The ESMAC has (1) member vacancy and (1) Alternate vacancy.
- The ESMAC brochure is due to be revised. Members of the ESMAC are encouraged to submit ideas to James Lyons.

Agenda Items / Speakers for Upcoming ESMAC Meetings:

Adjournment:



Art, elevated.

The Artist Tree highlights the natural synergy between cannabis and art.

Our welcoming and stylish retail store features artwork from local artists and educational displays.

Find your inspiration



Contact Us

4100 San Pablo Dam Rd.
El Sobrante, CA 94803
(213) 700-6858

info@theartisttree.com
www.theartisttree.com

 @theartisttree

 @theartisttreeshops



**THE
ARTIST
TREE**

**Curious.
Creative.
Communal.**

**Cannabis Boutique
and Art Space**



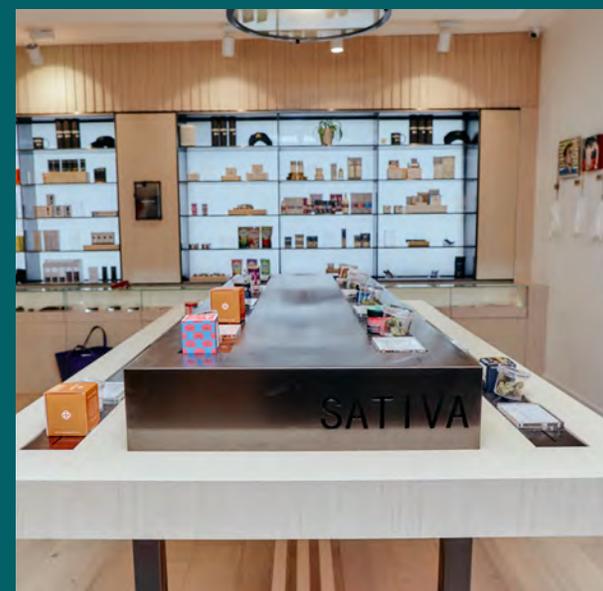
THE ARTIST TREE TEAM

- *Over 13 years experience operating licensed cannabis dispensaries in California*
- *History of community involvement and philanthropic efforts*
- *Experts on legal compliance, safe consumption and cannabis education*
- *Residents and activists in local community*



ELEVATING THE COMMUNITY

- *2% of gross revenue allocated to community benefits*
- *Committed to hiring locally*
- *Robust security staffing and equipment to enhance neighborhood safety*
- *Renovation of existing building to improve the commercial landscape*





CONTRA COSTA COUNTY
Department of Conservation & Development
Community Development Division

VARIANCE PERMIT APPLICATION
TO BE COMPLETED BY OWNER OR APPLICANT

OWNER Name	APPLICANT Name SAC on behalf of Verizon Wireless (Casey Ogata-Tr
Address	Address 8880 Cal Center Drive, Suite 170
City, State/Zip	City, State/Zip Sacramento, CA 95826
Phone email	Phone (209) 747-1725 email Casey.Ogata-Tran@Sacu
By signing below, owner agrees to pay all costs, including any accrued interest, if the applicant does not pay costs. <input type="checkbox"/> Check here if billings are to be sent to applicant rather than owner. Owner's Signature	By signing below, applicant agrees to pay all costs for processing this application plus any accrued interest if the costs are not paid within 30 days of invoicing. Applicant's Signature Casey Ogata-Tran

CONTACT PERSON (optional) Name	PROJECT DATA Total Parcel Size: 23,100 sq feet
Address	Estimated Project Value \$80,000
City, State/Zip	Proposed Square Footage: 1604 260 sq feet
Phone email	

Project description (attach supplemental statement if necessary):
 Verizon Wireless site at existing PG+E tower - previously approved but a new variance is required for new ground equipment location.

FOR OFFICE USE ONLY FOR OFFICE USE ONLY FOR OFFICE USE ONLY

Project description: APPLICANT REQUESTS APPROVAL OF A VARIANCE FOR A 1' FRONT YARD (WHERE 20' FEET IS REQUIRED) AND A 9' SIDELYARD (WHERE 10' IS REQUIRED) IN ORDER TO CONSTRUCT AN EQUIPMENT SHELTER FOR A NEW VERIZON CELL SITE APPROVED THROUGH COUNTY FILE #LP18-2023

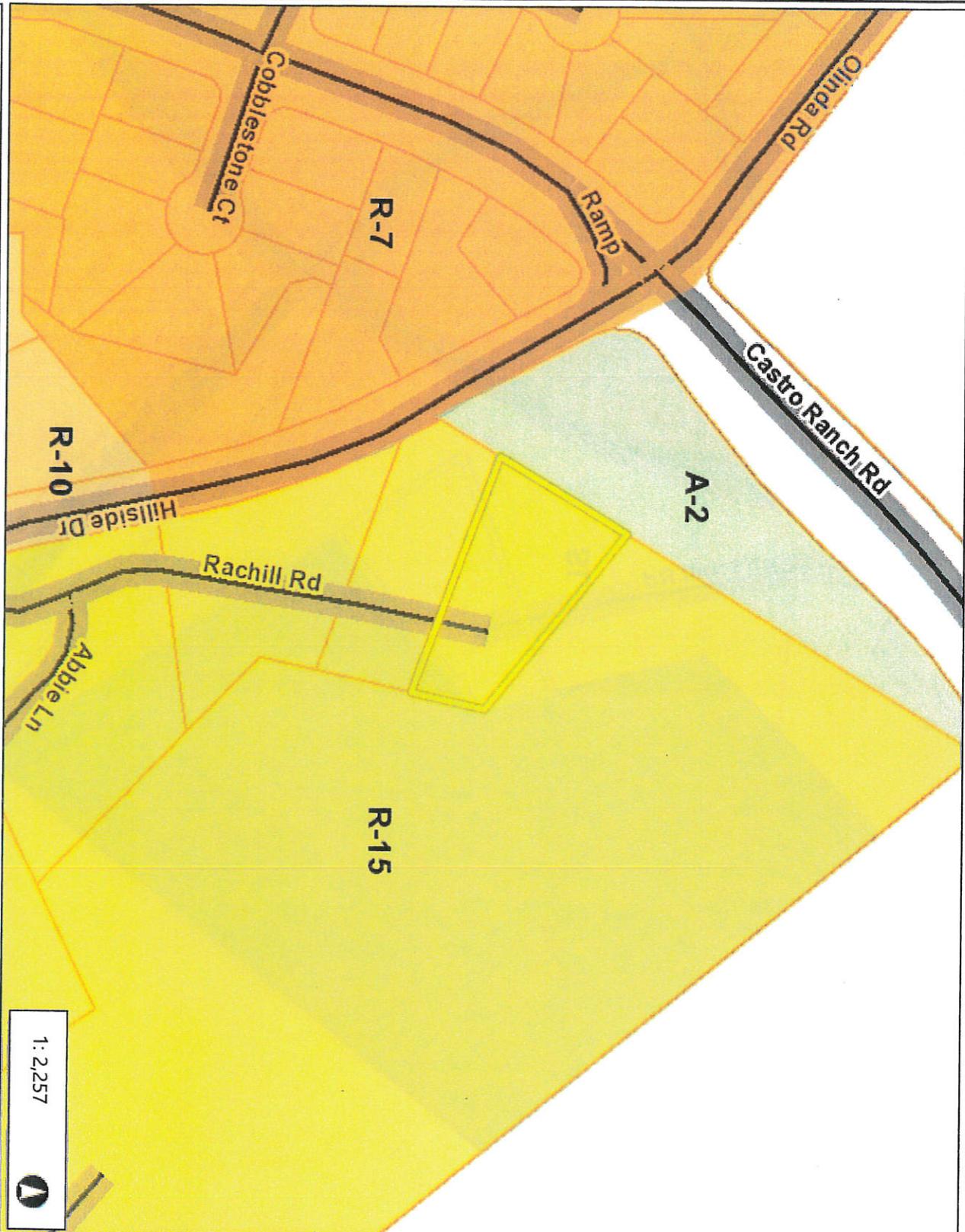
Property description: LOT 12 OF TRACT 3355

Ordinance Ref.:	TYPE OF FEE	FEE	CODE	Assessor's #: 433-290-001
Area: EL SOBRANTE	*Base Fee/Deposit	\$1,000	S-044	Site Address: 90 TAVASZI TERRACE
Fire District: CC FIRE	Late Filing Penalty (+50% of above if applicable)		S-066	Zoning District: R-15
Sphere of Influence: RICHMOND	Notification Fee	15.00 / 30.00	S-052	Census Tract: 3560.02
Flood Zone: X, A	Fish & Game Posting (if not CEQA exempt)	75.00	S-048	Atlas Page: J-7 K-7
Panel Number:	Environmental Health Dept.	57.00	5884	General Plan: SL
x-ref Files: LP18-2023	Other:			Substandard Lot: YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
				Supervisory District: 1
				Received by: G FARRINGTON
Concurrent Files:	TOTAL	\$ 1087.00		Date Filed: 12/5/19
CV19-0109	Receipt	# 190015517		File # VR19-1053

*Additional fees based on time and materials will be charged if staff costs exceed base fee.

INSTRUCTIONS ON REVERSE

Zoning: R-15



1: 2,257

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



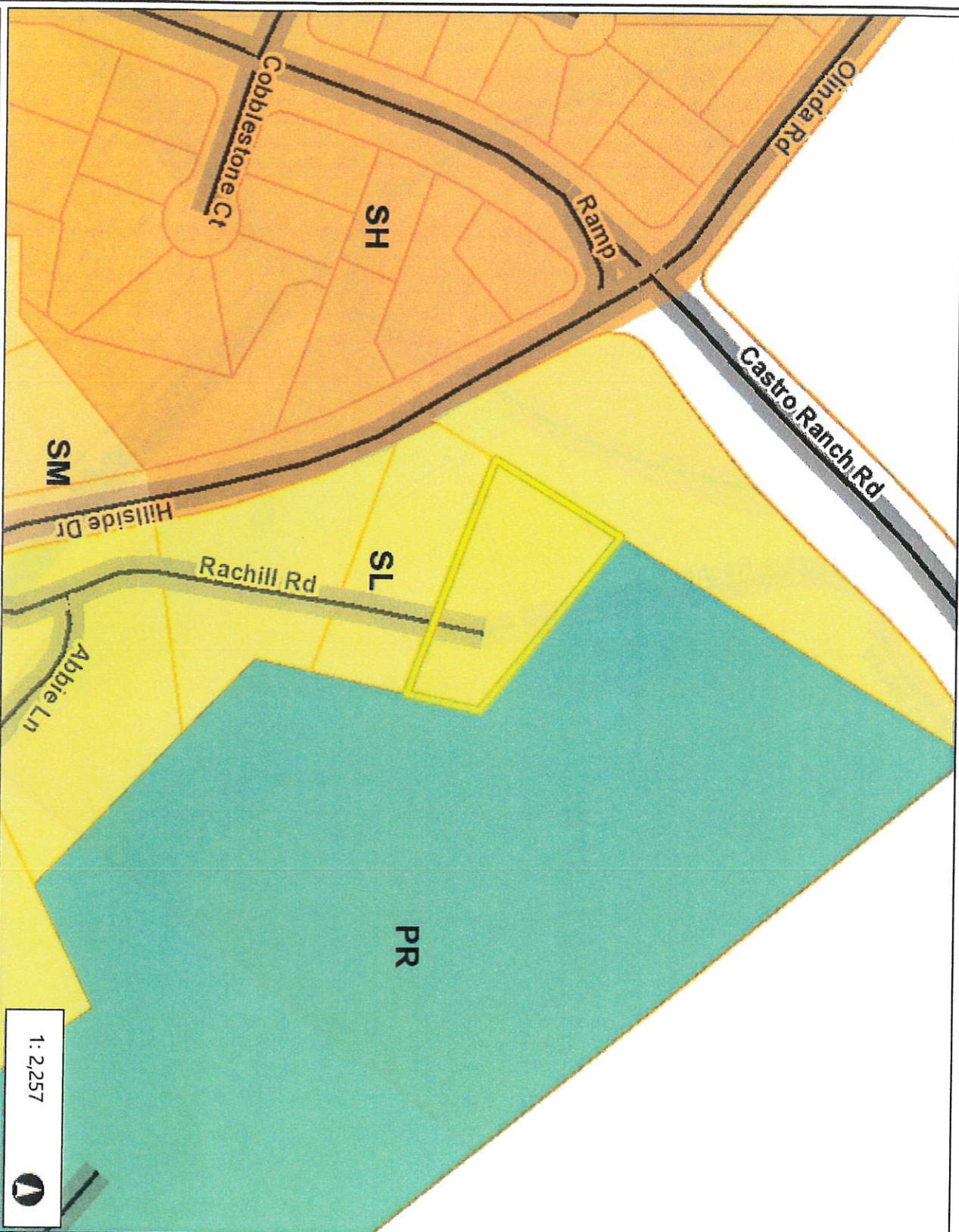
Legend

- Zoning**
- R-6 (Single Family Residential)
 - R-6, -FH -UE (Single Family Resid Urban Farm Animal Exclusion Com
 - R-6, -SD, -1 (Single Family Resident Hillside Development Combining Di
 - R-6, -TOV, -K (Single Family Reside View Ordinance and Kensington Cc
 - R-6, -UE (Single Family Residential Exclusion Combining District)
 - R-6, -X (Single Family Residential - Combining District)
 - R-7 (Single Family Residential)
 - R-7, -X (Single Family Residential - Combining District)
 - R-10 (Single Family Residential)
 - R-10, -UE (Single Family Residenti Exclusion Combining District)
 - R-12 (Single Family Residential)
 - R-15 (Single Family Residential)
 - R-20 (Single Family Residential)
 - R-20, -UE (Single Family Residenti Exclusion Combining District)
 - R-40 (Single Family Residential)
 - R-40, -FH -UE (Single Family Resid Urban Farm Animal Exclusion Com
 - R-40, -UE (Single Family Residenti Exclusion Combining District)
 - R-65 (Single Family Residential)
 - R-100 (Single Family Residential)
 - D-1 (Two Family Residential)
 - D-1, -T (Two Family Residential - Tr

Notes

Contra Costa County - DOIT GIS

General Plan: Single-Family Residential-Low



1: 2,257

This map is a user-generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



Legend

- General Plan**
- SV (Single Family Residential - Very Low Density)
 - SL (Single Family Residential - Low Density)
 - SM (Single Family Residential - Medium Density)
 - SH (Single Family Residential - High Density)
 - ML (Multiple Family Residential - Low Density)
 - MM (Multiple Family Residential - Medium Density)
 - MH (Multiple Family Residential - High Density)
 - MV (Multiple Family Residential - Very High Density)
 - MS (Multiple Family Residential - Special Use)
 - CC (Congregate Care/Senior Housing)
 - MO (Mobile Home)
 - M-1 (Parker Avenue Mixed Use)
 - M-2 (Downtown/Waterfront Rodeo I)
 - M-3 (Pleasant Hill BART Mixed Use)
 - M-4 (Willow Pass Road Mixed Use)
 - M-5 (Willow Pass Road Commerce)
 - M-6 (Bay Point Residential Mixed Use)
 - M-7 (Pittsburg/Bay Point BART Station)
 - M-8 (Dougherty Valley Village Center)
 - M-9 (Montalvin Manor Mixed Use)
 - M-10 (Willow Pass Business Park I)
 - M-11 (Applan Way Mixed Use)
 - M-12 (Triangle Area Mixed Use)
 - M-13 (San Pablo Dam Road Mixed Use)
 - M-14 (Heritage Mixed Use)

Notes

Contra Costa County - DOIT GIS

Aerial Photography



1:2,257



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



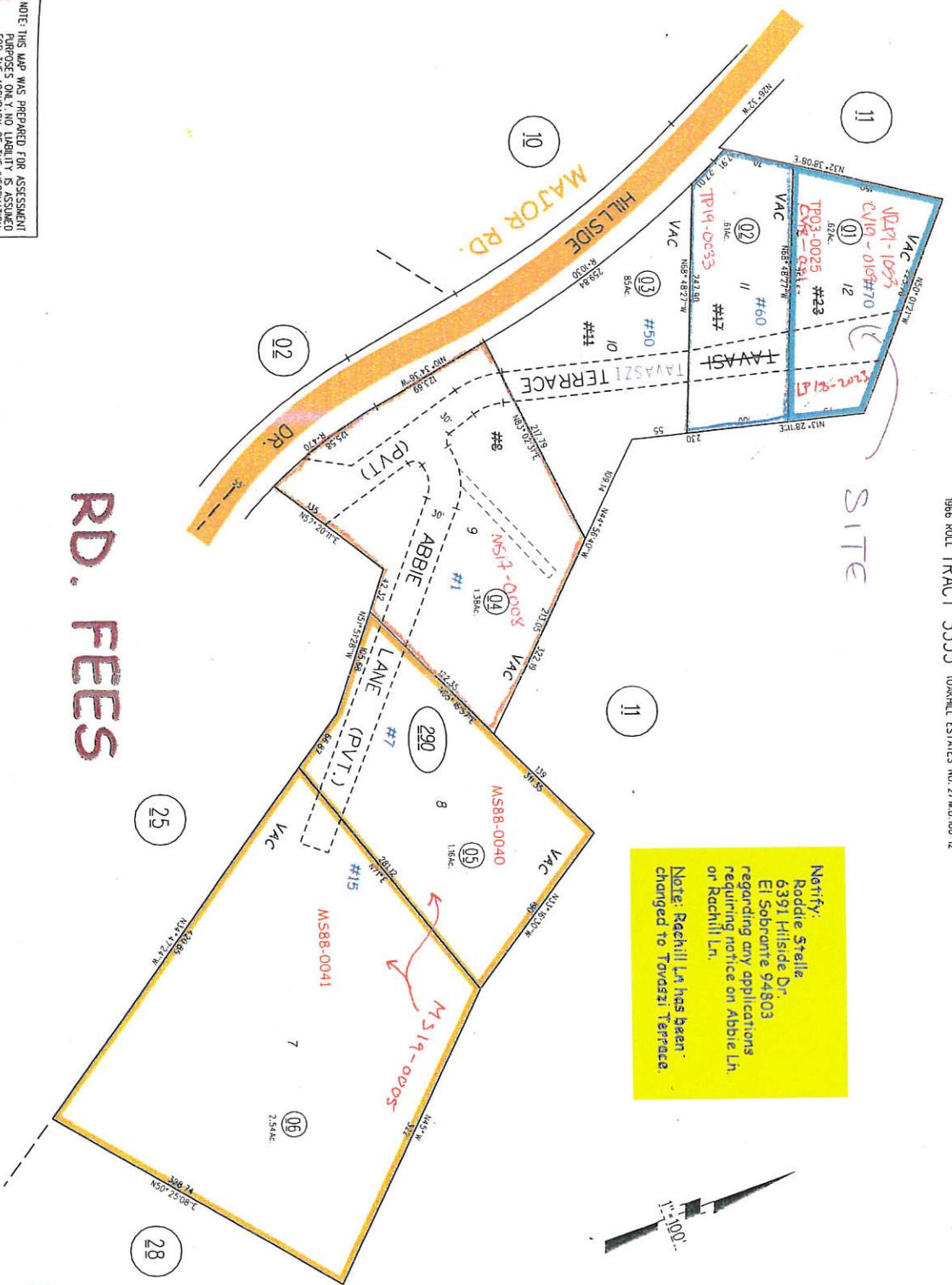
Legend

-  Streets
-  Assessment Parcels
- World Imagery
- Low Resolution 15m Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations

Notes

Contra Costa County - DOIT GIS

NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREON. ASSESSORS' PARCELS MAY NOT BE IDENTICAL TO THE PARCELS OR BUILDING SITE ORDINANCES.



RD. FEES

ZM: J-7
K-7 I.S.F. 3-15

BOOK 433 PAGE 29.
CONTRA COSTA COUNTY, CALIF.
Downloaded on April 7, 2008 AMS 09-15-99



CASTRO RANCH ROAD
 90 TAVASZI TERRACE, EL SOBRANTE, CA 94803
 LOCATION NUMBER: 193565

CONTRA COSTA COUNTY

2019 FEB 12 10:53

DEPARTMENT OF
 CONSERVATION
 AND DEVELOPMENT

VR19-1053

CASTRO RANCH ROAD

193565
 90 TAVASZI TERRACE
 EL SOBRANTE, CA 94803



2785 MITCHELL DRIVE, BLDG 9
 WALNUT CREEK, CA 94598

VERIZON WIRELESS EQUIPMENT ENGINEER: SIGNATURE _____ DATE _____	VERIZON WIRELESS REAL ESTATE: SIGNATURE _____ DATE _____
VERIZON WIRELESS CONSTRUCTION: SIGNATURE _____ DATE _____	VERIZON WIRELESS RF ENGINEER: SIGNATURE _____ DATE _____
PROPERTY OWNER: SIGNATURE _____ DATE _____	SAC WIRELESS - LEASING SIGNATURE _____ DATE _____
SAC WIRELESS - CONSTRUCTION SIGNATURE _____ DATE _____	SAC WIRELESS - ZONING SIGNATURE _____ DATE _____

PROJECT DESCRIPTION

- A (N) VERIZON WIRELESS UNMANNED TELECOMMUNICATION FACILITY CONSISTING OF INSTALLING:
- (N) 12'-0" TOWER EXTENSION
 - (6) (N) ANTENNAS ON AN (E) PG&E LATTICE TOWER
 - (6) (N) RRU UNITS BELOW CONDUCTORS
 - (2) (N) SURGE SUPPRESSORS, (1) @ EQUIPMENT & (1) @ RRU UNITS
 - (2) (N) HYBRID TRUNK CABLES TO (N) RRU UNITS BELOW CONDUCTORS
 - (24) (N) 1/2" COAX JUMPERS & (12) (N) 3/4" COAX CABLES FROM (N) RRU UNITS BELOW CONDUCTORS TO (N) ANTENNAS ABOVE CONDUCTORS
 - A (N) VERIZON WIRELESS 20'-0"X13'-0" (260 SQ FT) EQUIPMENT LICENSE AREA
 - A (N) GPS ANTENNA AT EQUIPMENT

PROJECT INFORMATION

SITE NAME:	CASTRO RANCH ROAD	SITE #:	193565
COUNTY:	CONTRA COSTA	JURISDICTION:	CONTRA COSTA COUNTY
APN:	433-290-001	POWER:	PG&E
SITE ADDRESS:	90 TAVASZI TERRACE EL SOBRANTE, CA 94803	FIBER:	T.B.D.
CURRENT ZONING:	R-15 SINGLE FAMILY RESIDENTIAL DISTRICT		
CONSTRUCTION TYPE:	V-B		
OCCUPANCY TYPE:	U, (UNMANNED COMMUNICATIONS FACILITY)		
PROPERTY OWNER:	MARQUEZ NARCISO 1103 DONATELLO WAY OAKLEY, CA 94561 ATTN: ASH RAGEH (510) 635-8745		
APPLICANT:	VERIZON WIRELESS 2785 MITCHELL DRIVE, BLDG 9 WALNUT CREEK, CA 94598		
SITE ACQUISITION COMPANY:	SAC WIRELESS 8880 CAL CENTER DRIVE SACRAMENTO, CA 95826		
LEASING CONTACT:	ATTN: CASEY OGATA-TRAN (209) 747-1725 CASEY.OGATA.TRAN@SACW.COM		
ZONING CONTACT:	ATTN: CASEY OGATA-TRAN (209) 747-1725 CASEY.OGATA.TRAN@SACW.COM		
CONSTRUCTION CONTACT:	ATTN: RAMON MORENO (925) 690-5043 RAMON.MORENO@SACW.COM		

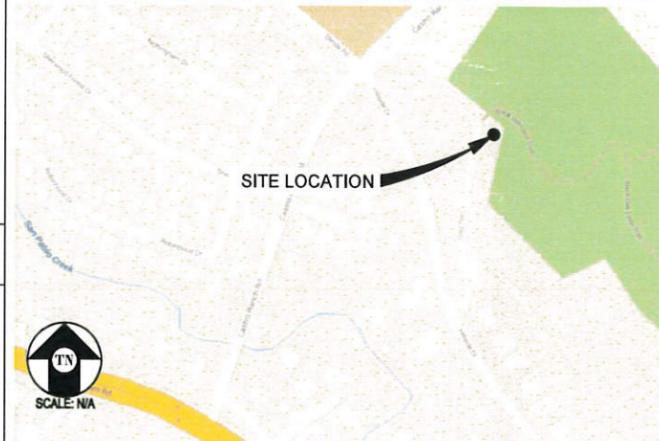
PG&E INFORMATION

TOWER INFO:
 TOWER SAP#: 40580898
 TOWER#: 7/51
 LINE NAME: OLEUM - G, 115KV

PG&E CONTACT INFO:
 PROJECT MANAGER: SEAN KENNEDY
 MOBILE: (925) 786-3375
 E-MAIL: SEK1@PGE.COM

ADDRESS: 245 MARKET ST
 MAIL CODE N10D
 SAN FRANCISCO, CA 94105

VICINITY MAP



DRIVING DIRECTIONS

- FROM: 2785 MITCHELL DRIVE, BLDG 9, WALNUT CREEK, CA 94598
 TO: 90 TAVASZI TERRACE, EL SOBRANTE, CA 94803
- START OUT GOING SOUTHWEST ON MITCHELL DR TOWARD N WIGET LN 0.2 MI
 - TURN LEFT ONTO N WIGET LN 0.3 MI
 - TAKE THE 2ND RIGHT ONTO YGNACIO VALLEY RD 3.0 MI
 - YGNACIO VALLEY RD BECOMES HILLSIDE AVE 0.07 MI
 - MERGE ONTO CA-24 W TOWARD OAKLAND 7.0 MI
 - TAKE EXIT 9 TOWARD ORINDA 0.2 MI
 - KEEP RIGHT TO TAKE THE RAMP TOWARD ORINDA VILLAGE / RICHMOND 0.06 MI
 - KEEP RIGHT AT THE FORK IN THE RAMP 0.2 MI
 - MERGE ONTO CAMINO PABLO 2.0 MI
 - CAMINO PABLO BECOMES SAN PABLO DAM RD 5.4 MI
 - TURN RIGHT ONTO CASTRO RANCH RD 0.2 MI
 - TAKE THE 3RD RIGHT ONTO HILLSIDE DR 0.07 MI
 - 90 TAVASZI TER
- END AT: 90 TAVASZI TERRACE, EL SOBRANTE, CA 94803
 ESTIMATED TIME: 27 MINUTES ESTIMATED DISTANCE: 18.79 MILES

CODE COMPLIANCE

ALL WORK & MATERIALS SHALL BE PERFORMED & INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

- 2016 CALIFORNIA ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
- 2016 CALIFORNIA BUILDING CODE (CBC), PART 2, VOLUME 1&2, TITLE 24 C.C.R. (2015 INTERNATIONAL BUILDING CODE AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R. (2014 NATIONAL ELECTRICAL CODE AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24 C.C.R. (2015 UNIFORM MECHANICAL CODE AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R. (2015 UNIFORM PLUMBING CODE AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 C.C.R.
- 2016 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R. (2015 INTERNATIONAL FIRE CODE AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11, TITLE 24 C.C.R.
- 2016 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.
- ANSI/EIA-TIA-222-G

ALONG WITH ANY OTHER APPLICABLE LOCAL & STATE LAWS AND REGULATIONS

DISABLED ACCESS REQUIREMENTS

THIS FACILITY IS UNMANNED & NOT FOR HUMAN HABITATION. DISABLED ACCESS & REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH CALIFORNIA STATE BUILDING CODE, TITLE 24 PART 2, SECTION 11B-203.4

SHEET INDEX

SHEET	DESCRIPTION	REV
T-1	TITLE SHEET	-
T-2	CONDITIONS OF APPROVAL	-
T-3	CONDITIONS OF APPROVAL	-
C-1	TOPOGRAPHIC SURVEY	-
C-2	TOPOGRAPHIC SURVEY	-
A-1	OVERALL SITE PLAN	-
A-2	SITE PLAN	-
A-3	EQUIPMENT PLAN & DETAILS	-
A-4	ANTENNA PLAN & DETAILS	-
A-5	ELEVATION	-
A-6	ELEVATION	-
S-1	STRUCTURAL NOTES	-
S-2	STRUCTURAL PLANS	-
S-3	STRUCTURAL DETAILS	-
S-4	STRUCTURAL DETAILS	-
E-1.1	ELECTRICAL PLAN	-
E-1.2	PG&E POWER DESIGN	-
E-2.1	PG&E GROUND GRID DESIGN	-
E-2.2	PG&E GROUND GRID DESIGN	-

Streamline Engineering and Design, Inc.
 8445 Sierra College Blvd, Suite E Granite Bay, CA 95661
 Contact: Kevin Sorenson Phone: 916-660-1930
 E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. AND SHALL REMAIN THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. IF ANY PART OF THESE PLANS OR SPECIFICATIONS IS REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER, COMPASSION SOFTWARE ENGINEERING AND DESIGN, INC. ALL RIGHTS RESERVED.

**PRELIMINARY:
 NOT FOR
 CONSTRUCTION**

KEVIN R. SORENSON
 S4469

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	10/24/19	CD 90%	J.S.
	10/29/19	CLIENT REV	D.G.
	12/02/19	CD 100%	Z.P.
	-	-	-
	-	-	-
	-	-	-

DRAWN BY: C. CODY
 CHECKED BY: J. GRAY
 APPROVED BY: -
 DATE: 12/02/19

SHEET TITLE:

TITLE

SHEET NUMBER:

T-1



FILE COPY

CONTRA COSTA COUNTY DEPARTMENT OF CONSERVATION AND DEVELOPMENT COMMUNITY DEVELOPMENT DIVISION

APPROVED PERMIT

APPLICANT: SAC Wireless on behalf of Verizon Wireless, 2785 Mitchell Drive, Walnut Creek, CA 94598
APPLICANT NO.: EP18-2023
ASSESSOR'S PARCEL NO.: 432-290-001
PROJECT LOCATION: 90 Tavasz Terrace, El Sobrante, CA
OWNER: Narciso Marquez, 1103 Donatello Way, Oakley, CA 94561
ZONING DISTRICT: R-35
APPROVED DATE: January 23, 2019
EFFECTIVE DATE: February 5, 2019

This matter having not been appealed within the period of time prescribed by law, a LAND USE PERMIT for the construction of a new Verizon Wireless telecommunications facility (cell site) on an existing PG&E lattice tower, which includes an approximately 11-foot 10-inch tall security fence located on the ground, with variances as follows: a) a 3-foot 4-inch front yard setback (where 20 feet is required) and b) a 3-foot side yard setback (where 10 feet is required) in the El Sobrante area is hereby APPROVED, subject to the attached conditions of approval.

Arun M. Bhat, County Zoning Administrator

By: [Signature] Lasban C. Cross, Deputy Zoning Administrator

Unless otherwise provided, THIS PERMIT WILL EXPIRE ONE (1) YEAR from the effective date if the action allowed by this permit is not undertaken within that time.

PLEASE NOTE THE EFFECTIVE DATE, as no further notification will be sent by this office.

FINDINGS AND CONDITIONS OF APPROVAL FOR COUNTY FILE #LP18-2023; SAC WIRELESS (APPLICANT) & MARQUEZ NARCISO (PROPERTY OWNER) / PG&E (TOWER OWNER) AS APPROVED BY THE ZONING ADMINISTRATOR ON JANUARY 23, 2019

I. FINDINGS

A. Growth Management Performance Standards

- 1. Traffic: The project is to construct a new wireless facility on an existing PG&E lattice tower with a 260 square-foot equipment lease area for the associated equipment. Policy 4-c under the Growth Management Program (GMP) requires a traffic impact analysis be conducted for any project that is estimated to generate 100 or more AM or PM peak hour trips. The addition to the existing tower and the accessory structure will not increase traffic to and from the project site. Therefore, a traffic impact analysis is not required.
2. Water: The GMP requires new development to demonstrate that adequate water quantity and quality can be provided. The subject property currently receives water service from the East Bay Municipal Utility District (EBMUD). EBMUD has reviewed this project, and the project is not anticipated to significantly increase the demand for water service in the area.
3. Sanitary Sewer: The GMP requires that new development demonstrate that adequate sanitary sewer quantity and quality can be provided. The subject property currently receives sanitary sewer service from the West County Wastewater District. The project is not anticipated to increase the demand for sanitary sewer service in the area.
4. Fire Protection: The fire protection standards under the GMP require that a fire station be within one and one-half miles of development in urban, suburban and central business district areas, or requires that automatic fire sprinkler systems be installed to satisfy this standard. The project site is within the Contra Costa Fire Protection District jurisdiction. In a message from the Fire Protection staff dated September 18, 2018, the Fire Department stated they have no comments regarding the project.
5. Public Protection: Public protection standards under the GMP require that a Sheriff Facility standard of 255 square feet of station area and support facilities per 1,000 in population shall be maintained within the unincorporated area of the County. The project is a new wireless facility on an existing PG&E lattice tower and will not increase the demand for police service facilities as the project will not increase the population.

characteristics of the subject property and its location are established.

C. Variance Findings

- 1. Required Finding: That any variance authorized shall not constitute a grant of special privilege inconsistent with the limitations on other properties in the vicinity and the respective land use district in which the subject property is located.
Project Finding: The subject property has a private road easement and a PG&E easement that bisect the parcel and reduce the amount of developable area. The east side of the property has already been developed with the PG&E lattice tower and the accessory equipment structure is to be located on the west side of the private road easement. The subject property also has significant elevation changes which limits the amount of developable area on the property.
The 260 square-foot equipment lease area is necessary to house the equipment for the wireless facility mounted on the PG&E lattice tower. The height of the structure is a combination of a screening and security fence mounted on a new concrete slab to mitigate the existing slope.
Because the slope of the subject property is consistent with adjacent lots as well as the private road and PG&E utility easements, the variance will not be a grant of special privilege inconsistent with the limitations on other properties in the vicinity.
2. Required Finding: That because of special circumstances applicable to the subject property because of its size, shape, topography, location or surroundings, the strict application of the respective zoning regulations is found to deprive the subject property of the rights enjoyed by other properties in the vicinity and within the identical land use district.
Project Finding: The subject property is located in an undeveloped area of El Sobrante surrounded by similar lots that are zoned for single-family residential dwellings but have topography and easement challenges. Other lots in the vicinity also zoned for single-family dwellings do not have easements bisecting the property and thus the strict application of the zoning regulations is found to deprive the subject property enjoyed by other properties in the vicinity also zoned for single-family residential development.

- 6. Parks & Recreation: Parks and recreation standards under the GMP require three acres of neighborhood park area per 1,000 in population. The project will not increase the demand for parks or recreation facilities, as the project will not increase the housing stock in the County.
7. Flood Control & Drainage: No portion of the subject property is located within a 100-year flood area as determined by the Federal Emergency Management Agency. In addition, the project does not involve the removal, construction, or alteration of any dams or levees within the County. Therefore, further analysis in relation to increased flood risks as a result of the project is not required.

B. Land Use Permit Findings

- 1. The proposed project shall not be detrimental to the health, safety and general welfare of the County.
Project Finding: The new wireless facility will be located on an existing PG&E lattice tower and the 260 square-foot equipment lease area will be adjacent to the tower. There are no other structures on the property and the adjacent lots are undeveloped as well. The submitted RF report by Hammett & Edison states that any RF exposure will be 4.9% of the applicable public exposure limit. The project will not add any significant demands on the neighborhood resources, nor be detrimental to the health, safety, and general welfare of the County.
2. The proposed project shall not adversely affect the orderly development within the County or the community.
Project Finding: The proposed project will be located within a single-family residential neighborhood but located on a parcel with a previously existing PG&E lattice tower. The proposed project will not affect the development potential of the adjacent properties nor conflict with single-family residential development within the surrounding neighborhood.
3. The proposed project shall not adversely affect the preservation of property values and the protection of the tax base within the County.
Project Finding: The new wireless facility will be located on an existing PG&E lattice tower and the 260 square-foot equipment lease area will be adjacent to the tower. As conditioned the project will not create any additional adverse affects on the property values of the surrounding neighborhood. The wireless facility will not significantly change the overall height and the accessory structure will be shielded from view from the adjacent neighborhood by the surrounding

- 3. Required Finding: That any variance authorized shall substantially meet the intent and purpose of the respective land use district in which the property is located.

Project Finding: The 260 square-foot equipment lease area is to be constructed as part of a new wireless facility which is zoned with the issuance of a land use permit in the single-family residential zoned area. A wireless facility is a conditionally permitted use within the R-15 zoning district and the associated accessory structure also meets the intent and purpose of the R-15 single-family residential land use district.

II. CONDITIONS OF APPROVAL FOR COUNTY FILE #LP18-2023:

Project Approval

- 1. This Land Use Permit approval is granted to allow the construction of a new Verizon wireless telecommunications facility. The project consists of the following equipment attached to the existing PG&E lattice tower as well as located within the adjacent equipment lease area:
- One 12-foot tower antenna extension;
- Six antennas;
- Nine RRJ units;
- Six above conductors;
- Three below conductors;
- Four surge suppressors;
- One GPS antenna;
- Three equipment cabinets;
- One wireless telco box;
- One disconnect meter;
- One site disconnect;
- One wireless intersect.
2. Development is approved as generally described in the application materials received by the Department of Conservation and Development, Community Development Division (CDD) on July 30, 2018, additional plans received September 28, 2018 and is subject to the conditions listed below.
3. Prior to issuance of a building permit for the wireless facility evidence shall be provided that the private road access easement has been relocated and the equipment lease area is located completely outside of the private road access easement.

CASTRO RANCH ROAD

193565 90 TAVASZI TERRACE EL SOBRANTE, CA 94803



2785 MITCHELL DRIVE, BLDG 9 WALNUT CREEK, CA 94598

Streamline Engineering and Design, Inc. 8445 Sierra College Blvd, Suite E Granite Bay, CA 95661 Contact: Kevin Sorensen Phone: 916-660-1930 E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

PRELIMINARY: NOT FOR CONSTRUCTION

KEVIN R. SORENSEN 54469

ISSUE STATUS

Table with columns: DATE, DESCRIPTION, REV.
10/24/19 CD 90% J.S.
10/29/19 CLIENT REV D.G.
12/02/19 CD 100% Z.P.

DRAWN BY: C. CODY
CHECKED BY: J. GRAY
APPROVED BY: -
DATE: 12/02/19

SHEET TITLE: CONDITIONS OF APPROVAL SHEET NUMBER:

T-2

4. No portion of the facility may be located within the private road access easement. Any modification(s) to the location of such easement will require review for the consideration of the Zoning Administrator.
5. The applicant (including the property owner or any agent thereof) shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the Agency (the County) or its agents, officers, or employees, to attack, set aside, void, or annul, the Agency's approval concerning this application. The County will promptly notify the property owner/project sponsor of any such claim, action, or proceeding and cooperate fully in the defense.

Administrative Review

6. This land use permit is granted for a period of ten years and shall be administratively reviewed a five-year intervals. The applicant shall initiate the first review by submitting a statement as to the current status of the project to the Zoning Administrator no later than five years following the effective date of the project approval. This review by the Zoning Administrator will be for the purpose of ensuring continued compliance with the conditions of permit approval.

Non-compliance with the approved conditions and/or the ordinance code provisions after written notice thereof shall be cause for revocation proceedings.

For the review of existing commercial wireless telecommunication facilities, submittal shall include photo documentation of existing conditions and equipment for comparison with the applicable approved conditions.

The applicant is encouraged, at the time of each administrative review, to review the design of the telecommunication facility and make voluntary upgrades to the facility for the purpose of improving safety and lessening visual obtrusiveness.

A review fee in the amount of \$500.00 (subject to time and materials) will be filed through a Compliance review Application to allow for review of the approved conditions.

Compliance Report Required Prior to Issuance of a Building Permit

7. Prior to issuance of a building permit, the applicant shall submit a report addressing compliance with the conditions of approval for review and approval of the Zoning Administrator. The report shall list each condition followed by a description of what the applicant has provided as evidence of compliance with that condition. Unless otherwise indicated, the applicant will be required to demonstrate compliance with the conditions of this report prior to issuance of construction permits. The Zoning Administrator may reject the report if it is not comprehensive with respect to

applicable requirements for the requested permit. The deposit for review of the Compliance Report is \$500.00; the actual fee shall be time and materials.

Replacement of Equipment

8. The replacement of existing equipment may be done administratively (without submittal of a land use permit) after review and approval of the Zoning Administrator. The replacement of equipment will need to conform to the following:

- A. The proposed replacement equipment will not create a greater visual impact on the surrounding area and will not increase the risk to public health or safety, and
- B. Will not otherwise conflict with the permit conditions.

An additional review fee in the amount of \$500.00 (subject to time and materials) will be filed through a Compliance Verification Application to allow for review of the equipment to be replaced. This condition shall not require prior approval to replace malfunctioning equipment where necessary to restore or maintain service. Nothing in this condition shall excuse the applicant from obtaining a building or electrical permit where otherwise required under the applicable code.

Removal of Facility/Site Restoration

9. All structure and equipment associated with the applicant's commercial wireless telecommunication facility shall be removed within 30 days of the discontinuance of the use and the site shall be restored to its original pre-development condition. In addition, the permittee shall provide the Community Development Division with a notice of intent to vacate the site a minimum of 30 days prior to vacation.

Security to Provide for Removal of Equipment

10. Prior to submittal of a building permit for the telecommunication facility, the Applicant or Permittee shall provide bond, cash, or other surety, to the satisfaction of the Zoning Administrator, for the removal of the facility in the event that the use is abandoned or the use permit expires, or is revoked, or otherwise terminated. If the Permittee does not remove any obsolete or unused facilities as described above, the financial guarantee shall be used by the County to remove any obsolete or unused facilities and to return the site to its pre-development condition.

The financial assurance must be submitted before a permit will be issued. A financial assurance must be irrevocable and not cancellable, except by the County.

Each form of financial assurance must remain valid for the duration of the permit and for six months following termination, cancellation, or revocation of the permit.

Any unused financial guarantee shall be returned to the Applicant upon termination of the use and removal of the facility or transfer of the lease accompanied by a financial guarantee by the new lessee or owner. The amount of the security shall be based on a cost estimate provided by a contractor or other qualified professional to the satisfaction of the Zoning Administrator.

General Provisions

11. A minor alteration to this Land Use Permit may be issued if the proposed modification(s) are not considered a substantial modification as stated under federal law (Title 47, Section 1.40001).

A minor alteration (or collocation) has a term that is the shorter of the following:

- A. 10 years; or
- B. The duration, including any renewal period, of the permit that authorizes the existing facility on which the new facility will be collocated or on which the minor alteration will occur.

12. The conditions contained herein shall be accepted by the applicant, his agents, lessees, survivors or successors for continuing obligation.

13. All commercial wireless telecommunication facilities shall comply at all times with all Federal Communications Commission (FCC) rules, regulations and standards, and any other applicable federal, state or County law or regulation.

14. Facilities shall be operated in such a manner so as not to contribute to ambient RF/EMF emissions in excess of then current FCC adopted RF/EMF emission standards.

15. Within 15 days of the new antennas being installed, Verizon shall take RF power density measurements with the antennas operating to verify the level reported in the Hammett & Edison report and the ensure that the FCC public exposure level is not exceeded in any public accessible area. This measurement shall be taken again if any equipment is added. Verification of these measurements shall be submitted to CDD for review.

16. The equipment and accessory buildings shall be maintained in good condition over the term of the permit. This shall include keeping the lease area clean and free of trash accumulation and the structures graffiti-free.

17. Antennas, cabinets and mountings shall not be used for advertising.

18. No lights and no signage beyond what is required by this permit and the Federal Communications Commission shall be allowed. If the FCC does require additional light, it shall be directed downward and shall be hooded so as to minimize off-site visibility (the hood shall extend beyond the bulb). All lights shall be kept in the "off" position except when authorized personnel are present at the site.

19. The facility, all fences and walls surrounding the facility, and all other fixtures and improvements on the facility site must be repainted as often as necessary to prevent fading, chipping, or weathering of paint. Equipment must be painted to match the utility pole.

20. All antennas are to be painted to match the existing lattice tower and have a non-reflective finished. Paints with a reflectivity less than 5% percent are required.

Party Responsible for Permit Compliance

21. The permittee (wireless facility operator) is responsible for keeping CDD informed of who is responsible for maintenance of compliance with this permit and how they may be contacted (e.g. mailing and email addresses; telephone number) at all times.

A. Prior to the issuance of a building permit, the permittee shall provide the name of the party (carrier) responsible for permit compliance and their contact information.

B. Should the responsible party subsequently change (e.g., facility is acquired by a new carrier), within 30 days of the date of the change, the permittee shall issue a letter to CDD on the name of the new party who has been assigned permit compliance responsibility and their contact information. Failure to satisfy this condition may result in the commencement of procedures to revoke the permit.

Frequency Interference

22. The facility may not be operated at a frequency that will interfere with an emergency communication system or 911 system, including any regional emergency communication system.

Payment of Fees

23. This application is subject to an initial application deposit of \$2700.00, which was paid with the application submitted, plus time and material costs if the application review expenses exceed 100% of the initial deposit. Any additional costs due must be paid within 60 days of the permit effective date or prior to use of the permit, whichever

occurs first. The applicant may obtain current costs by contacting the project planner. If the applicant owes additional fees, a bill will be sent to the applicant shortly after permit issuance.

Construction Period Restrictions and Requirements

24. The applicant shall comply with the following restrictions and requirements:

A. Construction activities shall be limited to the hours of 8:00 A.M. to 5:00 P.M., Monday through Friday, and are prohibited on state and federal holidays on the calendar dates that these holidays are observed by the state or federal government as listed below:

- New Year's Day (state and federal)
- Birth day of Martin Luther King, Jr. (state and federal)
- Washington's Birthday (federal)
- Lincoln's Birthday (state)
- President's Day (state and federal)
- Cesar Chavez Day (state)
- Memorial Day (state and federal)
- Independence Day (state and federal)
- Labor Day (state and federal)
- Columbus Day (state and federal)
- Veterans Day (state and federal)
- Thanksgiving Day (state and federal)
- Day after Thanksgiving (state)
- Christmas Day (state and federal)

For information on the calendar dates that these holidays occur, please visit the following websites:

- Federal Holidays: http://www.opm.gov/Operations/Status_Schedules/fedhol/2019.asp
- California Holidays: <http://www.sos.ca.gov/holidays.htm>

B. Transportation of large trucks and heavy equipment is subject to the same restrictions that are imposed on construction activities, except that the hours are limited to 9:00 AM to 4:00 PM.

C. A good faith effort shall be made to avoid interference with existing neighborhood traffic flows.

D. All internal combustion engines shall be fitted with mufflers that are in good condition and stationary noise-generating equipment such as air compressors shall be located as far away from existing residences as possible.

E. Construction equipment and materials shall be stored onsite.

F. The construction site shall be maintained in an orderly fashion. Litter and debris shall be contained in appropriate receptacles and shall be disposed of as necessary.

G. Any debris found outside the site shall immediately be collected and deposited in appropriate receptacles.

ADVISORY NOTES

ADVISORY NOTES ARE NOT CONDITIONS OF APPROVAL; THEY ARE PROVIDED TO ALERT THE APPLICANT TO ADDITIONAL ORDINANCES, STATUTES, AND LEGAL REQUIREMENTS OF THE COUNTY AND OTHER PUBLIC AGENCIES THAT MAY BE APPLICABLE TO THIS PROJECT.

A. NOTICE OF OPPORTUNITY TO PROTEST FEES, ASSESSMENTS, DEDICATIONS, RESERVATIONS OR OTHER EXACTION'S PERTAINING TO THE APPROVAL OF THIS PERMIT.

Pursuant to California Government Code Section 66003, et seq., the applicant has the opportunity to protest fees, dedications, reservations or exactions required as part of this project approval. To be valid, a protest must be in writing pursuant to Government Code Section 66020 and must be delivered to the Community Development Division within a 90-day period that begins on the date that this project is approved. If the 90th day falls on a day that the Community Development Division is closed, then the protest must be submitted by the end of the next business day.

B. Prior to applying for a building permit, the applicant is strongly encouraged to contact the following agencies to determine if additional requirements and/or additional permits are required as part of the proposed project:

- Contra Costa County Building Inspection Division
- Contra Costa County Environmental Health Division
- East Bay Municipal Utility District
- West County Wastewater Sanitary District

• Contra Costa Fire Protection District

CASTRO RANCH ROAD

193565
90 TAVASZI TERRACE
EL SOBRANTE, CA 94803



2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

Streamline Engineering and Design, Inc.

8445 Sierra College Blvd, Suite E Granite Bay, CA 95661
Contact: Kevin Sorensen Phone: 916-660-1930
E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

THESE PLANS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. NO PART OF THESE PLANS OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. Copyright 2008, Streamline Engineering and Design, Inc. All Rights Reserved.

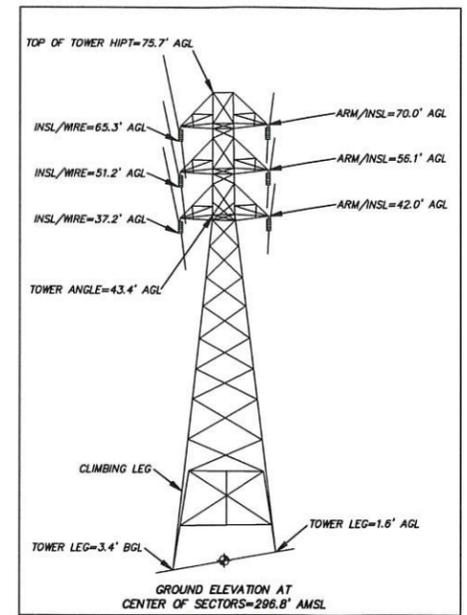
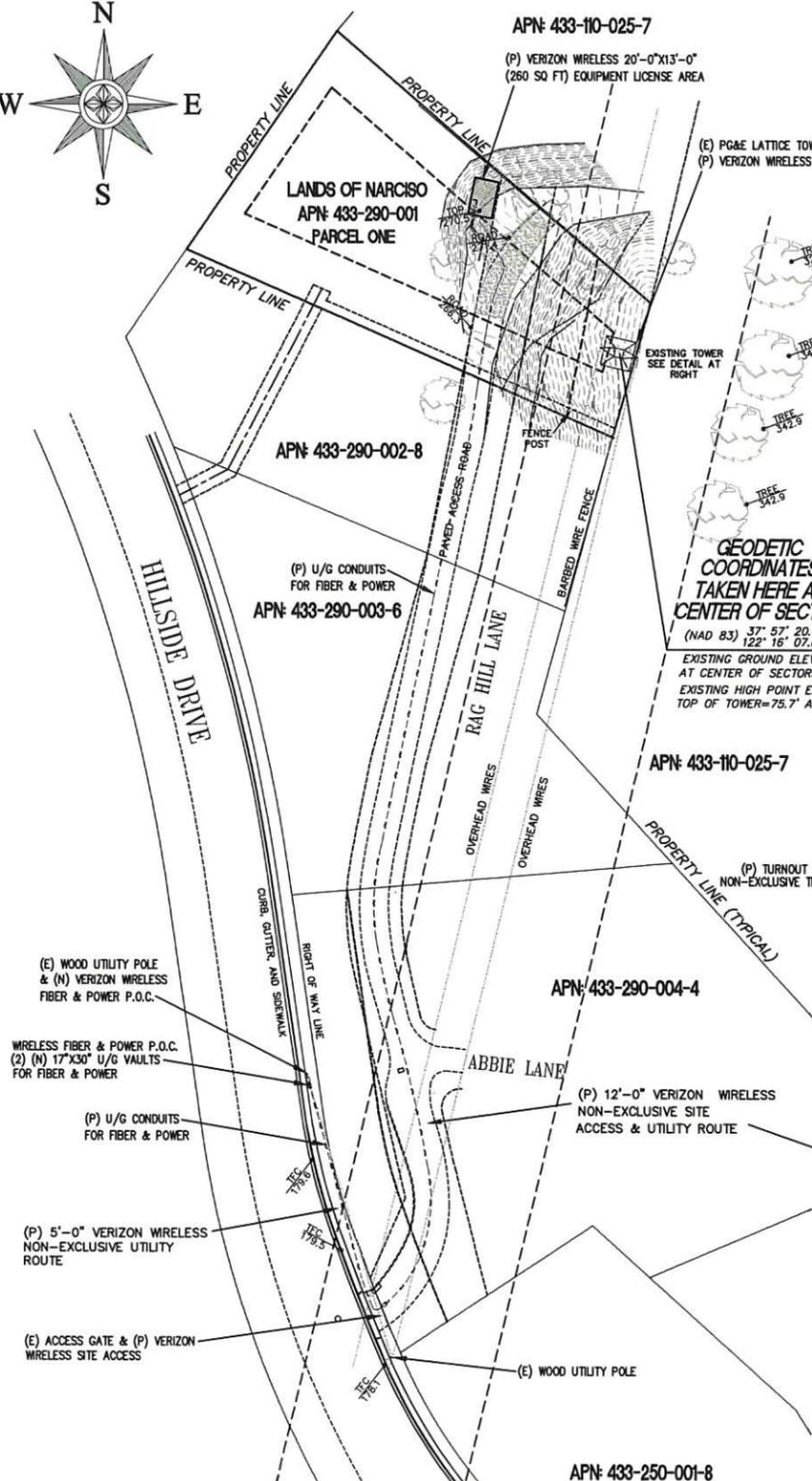
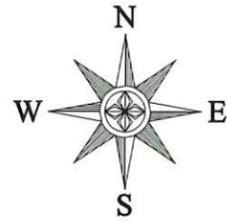
PRELIMINARY:
NOT FOR
CONSTRUCTION

KEVIN R. SORENSEN
S4469

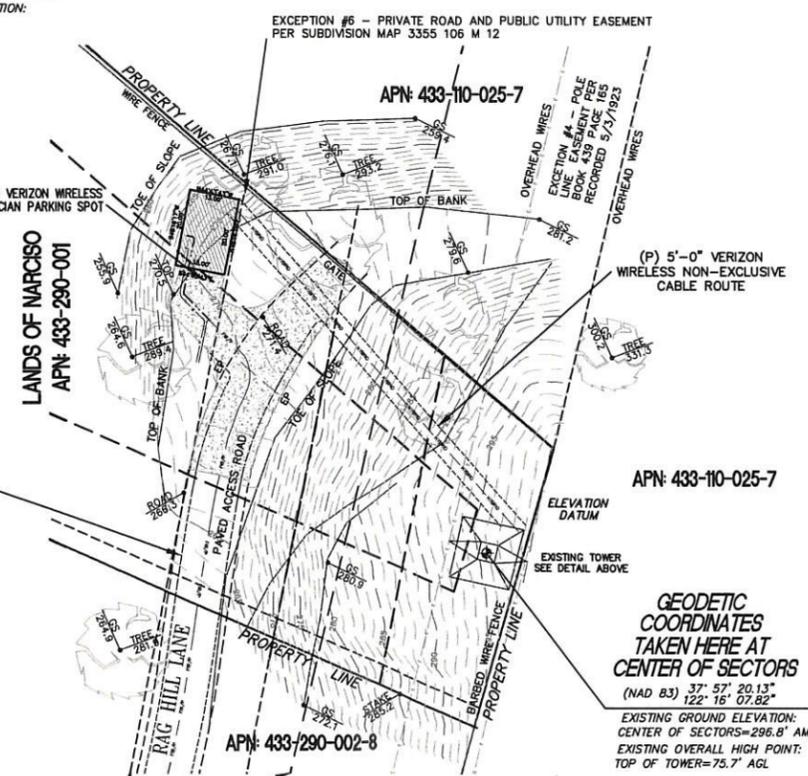
ISSUE STATUS			
Δ	DATE	DESCRIPTION	REV.
	10/24/19	CD 90%	J.S.
	10/29/19	CLIENT REV	D.G.
	12/02/19	CD 100%	Z.P.
	-	-	-
	-	-	-
	-	-	-

DRAWN BY: C. CODY
CHECKED BY: J. GRAY
APPROVED BY: -
DATE: 12/02/19

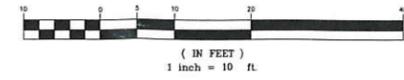
SHEET TITLE:
CONDITIONS OF APPROVAL
SHEET NUMBER:
T-3



GEODEIC COORDINATES TAKEN HERE AT CENTER OF SECTORS
 (NAD 83) 37° 57' 20.13" 122° 16' 07.82"
 EXISTING GROUND ELEVATION: AT CENTER OF SECTORS=296.8' AMSL
 EXISTING HIGH POINT ELEVATION: TOP OF TOWER=75.7' AGL



GEODEIC COORDINATES TAKEN HERE AT CENTER OF SECTORS
 (NAD 83) 37° 57' 20.13" 122° 16' 07.82"
 EXISTING GROUND ELEVATION: CENTER OF SECTORS=296.8' AMSL
 EXISTING OVERALL HIGH POINT: TOP OF TOWER=75.7' AGL



PROPERTY INFORMATION

OWNER: MARQUEZ NARCISO
 ADDRESS: 1103 DONATELLO WAY OAKLEY, CA 94561
 SITE: CASTRO RANCH ROAD 90 TAVASZI TERRACE EL SOBRANTE, CA 94803
 ASSESSOR'S PARCEL NUMBER: 433-290-001
 EXISTING GROUND ELEVATION: CENTER OF SECTORS=296.8' AMSL

SURVEYOR'S NOTES

ALL EASEMENTS CONTAINED IN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED. SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE ISSUED. THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.

SURVEY DATE

5/3/16

BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM STATE PLANE COORDINATE ZONE 9, DETERMINED BY GPS OBSERVATIONS.

BENCHMARK

ELEVATION ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS, APPLYING GEOID 99 SEPARATIONS, CONSTRAINING TO NGS CONTROL STATION "LUTZ" ELEVATION=450.0' (NAVD88)

TITLE REPORT

TITLE REPORT WAS PROVIDED BY FIRST AMERICAN TITLE COMPANY AS ORDER NO. 1004-5190614 DATED MAY 20, 2016.

SEE SHEET C-2 FOR EASEMENT INFORMATION.

EXCEPTION #11 - ANY EASEMENT AFFECTING PARCEL TWO. EXCEPTION #15 - RIGHTS OF THE PUBLIC IN AND TO THAT PORTION OF LAND LYING WITHIN ANY ROAD, STREET, ALLEY, OR HIGHWAY.

UTILITY NOTES

SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT U.S.A. AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

LESSOR'S LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATE IN THE COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA, RECORDED JUNE 3, 2008, IN DOCUMENT NO. 123583.

LEGEND

- P.O.B. POINT OF BEGINNING
- TFC TOP FACE OF CURB
- GS GROUND SHOT
- EP EDGE OF PAVEMENT
- D/W ACCESS DRIVEWAY
- PS PARKING SPACE
- SW SIDEWALK
- PAR TOP OF PARAPET
- ROOF TOP OF ROOF
- AC ASPHALT CONCRETE
- GEODEIC COORDINATES
- SPOT ELEVATION
- DISH ANTENNA
- WATER CONTROL VALVE
- FIRE HYDRANT
- GUY CONDUCTOR
- FOUND AS NOTED
- POWER POLE
- LIGHT POLE
- ELECTRICAL TRANSFORMER
- AIR CONDITIONING UNIT
- TELEPHONE PEDESTAL
- TELEPHONE VAULT
- TELEPHONE MANHOLE
- GAS VALVE
- GAS METER
- PROPERTY LINE
- CHAIN LINK FENCE

ISSUE STATUS

DATE	DESCRIPTION	REV.
5/9/2016	SITE PLAN	
6/28/2016	FINALIZE SURVEY	
10/17/2017	PER AE REDLINE	
4/26/2019	UPDATED UTILITY RUN	
10/26/2019	REVISED LEASE	



2785 MITCHELL DRIVE
 WALNUT CREEK, CA. 94598
 OFFICE: 925-279-6000
 (925) 279-6333

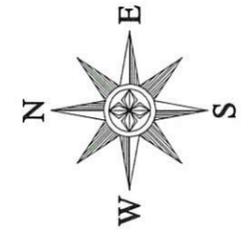
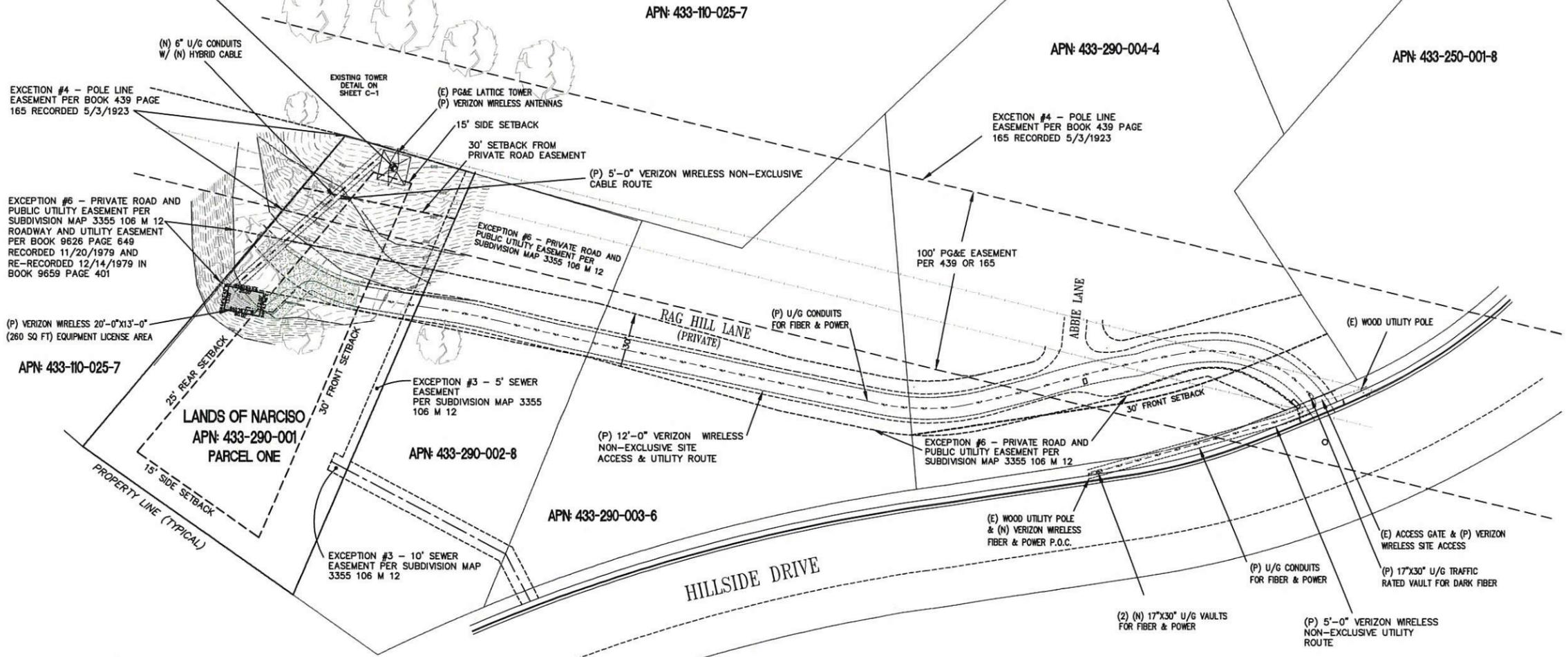
TOPOGRAPHIC SURVEY EXISTING CONDITIONS

PSL #193565
 CASTRO RANCH ROAD
 90 TAVASZI TERRACE
 EL SOBRANTE, CA 94803

C-1
 SHEET 1 of 2

GEODETIC COORDINATES TAKEN HERE AT CENTER OF SECTORS
 (NAD 83) 37° 57' 20.13" 122° 16' 07.82"

EXISTING GROUND ELEVATION: AT CENTER OF SECTORS=296.8' AMSL
 EXISTING HIGH POINT ELEVATION:



PROJECT OVERALL
 30 SCALE

DATE	DESCRIPTION	REV.
5/8/2016	SITE PLAN	
6/26/2016	FINALIZE SURVEY	
10/17/2017	PER AE REDLINE	
4/26/2019	UPDATED UTILITY RUN	
10/26/2019	REVISED LEASE	

HAYES
 Land Surveying
 And Mapping
 2830 MADRIGAN COURT
 CONCORD, CA 94518



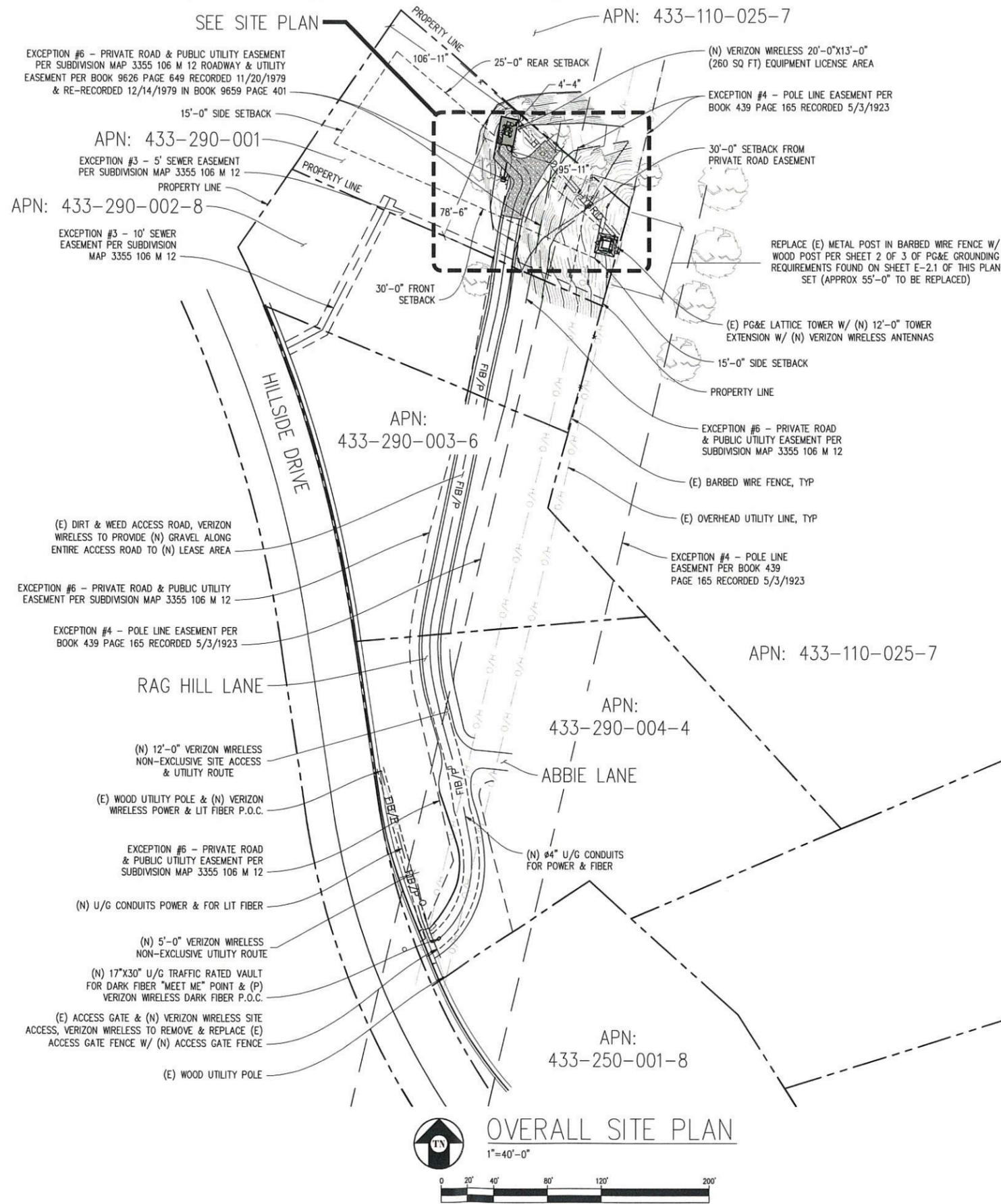
verizon
 2785 MITCHELL DRIVE
 WALNUT CREEK, CA. 94598
 OFFICE: 925-279-6000
 (925) 279-6333

TOPOGRAPHIC SURVEY
 AE DESIGN & TITLE EXCEPTIONS
 PSL #193565
 CASTRO RANCH ROAD
 90 TAVASZI TERRACE
 EL SOBRANTE, CA 94803

C-2
 SHEET 2 of 2

PROJECT GENERAL NOTES

- THIS FACILITY IS AN UNOCCUPIED WIRELESS TELECOMMUNICATION FACILITY.
- PLANS ARE NOT TO BE SCALED AND ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY, UNLESS NOTED OTHERWISE.
- THE SCOPE OF WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS, AND CONFIRM THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PAY FOR PERMIT FEES, AND TO OBTAIN SAID PERMITS AND TO COORDINATE INSPECTIONS.
- THE CONTRACTOR SHALL RECEIVE, IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
- CALL BEFORE YOU DIG. CONTRACTOR IS REQUIRED TO CALL 811 (NATIONWIDE "CALL BEFORE YOU DIG" HOTLINE) AT LEAST 72 HOURS BEFORE DIGGING.
- ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.
- THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. CONTRACTOR SHALL ALSO COORDINATE ALL PORTIONS OF THE WORK UNDER THE CONTRACT, INCLUDING CONTACT AND COORDINATION WITH THE CONSTRUCTION MANAGER AND WITH THE LANDLORD'S AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, PAVING, CURBS, GALVANIZED SURFACES, ETC., AND UPON COMPLETION OF WORK, REPAIR ANY DAMAGE THAT OCCURRED DURING CONSTRUCTION TO THE SATISFACTION OF THE PROJECT MANAGER.
- KEEP GENERAL AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS AND RUBBISH. REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED, OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, AS DIRECTED BY THE RESPONSIBLE ENGINEER, AND SUBJECT TO THE APPROVAL OF THE OWNER AND/OR LOCAL UTILITIES.
- ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND ALL OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK SHALL BE PROTECTED AT ALL TIMES.
- DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- THE CONTRACTOR SHALL PROVIDE A TOILET FACILITY DURING ALL PHASES OF CONSTRUCTION.
- SUFFICIENT MONUMENTATION WAS NOT RECOVERED TO ESTABLISH THE POSITION OF THE BOUNDARY LINES SHOWN HEREON. THE BOUNDARY REPRESENTED ON THIS MAP IS BASED ON COMPILED RECORD DATA AND BEST FIT ONTO EXISTING IMPROVEMENTS. IT IS POSSIBLE FOR THE LOCATION OF THE SUBJECT PROPERTY TO SHIFT FROM THE PLACEMENT SHOWN HEREON WITH ADDITIONAL FIELD WORK AND RESEARCH. THEREFORE ANY SPATIAL REFERENCE MADE OR SHOWN BETWEEN THE RELATIONSHIP OF THE BOUNDARY LINES SHOWN HEREON AND EXISTING GROUND FEATURES, EASEMENTS OR LEASE AREA IS INTENDED TO BE APPROXIMATE AND IS SUBJECT TO VERIFICATION BY RESOLVING THE POSITION OF THE BOUNDARY LINES.
- THE CONTRACTOR TO VERIFY THE LATEST/CURRENT RF DESIGN.
- WHERE APPLICABLE, CONTRACTOR SHALL PROVIDE SEPARATE PLANS, SPECIFICATIONS, FEES AND PERMITS FOR ANY REVISION TO ANY FIRE SPRINKLER AND/OR ALARM SYSTEM ON THE PREMISES AS MAY BE NEEDED TO COMPLETE THE WORK DEPICTED HEREIN, USING A C-10 LICENSED SUBCONTRACTOR FOR ALL SUCH WORK.



CASTRO RANCH ROAD

193565
90 TAVASZI TERRACE
EL SOBRANTE, CA 94803

verizon

2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

Streamline Engineering and Design, Inc.

8445 Sierra College Blvd, Suite E Granite Bay, CA 95861
Contact: Kevin Sorensen Phone: 916-868-1930
E-Mail: kevin@streamlineeng.com Fax: 916-868-1941

THIS PLAN AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. AND SHALL REMAIN THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. UNLESS OTHERWISE SPECIFIED. NO PART OF THIS PLAN OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. Copyright © 2019 Streamline Engineering and Design, Inc. All Rights Reserved.

PRELIMINARY:
NOT FOR
CONSTRUCTION

KEVIN R. SORENSEN
S4469

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	10/24/19	CD 90%	J.S.
	10/29/19	CLIENT REV	D.G.
	12/02/19	CD 100%	Z.P.
	-	-	-
	-	-	-
	-	-	-

DRAWN BY: C. CODY

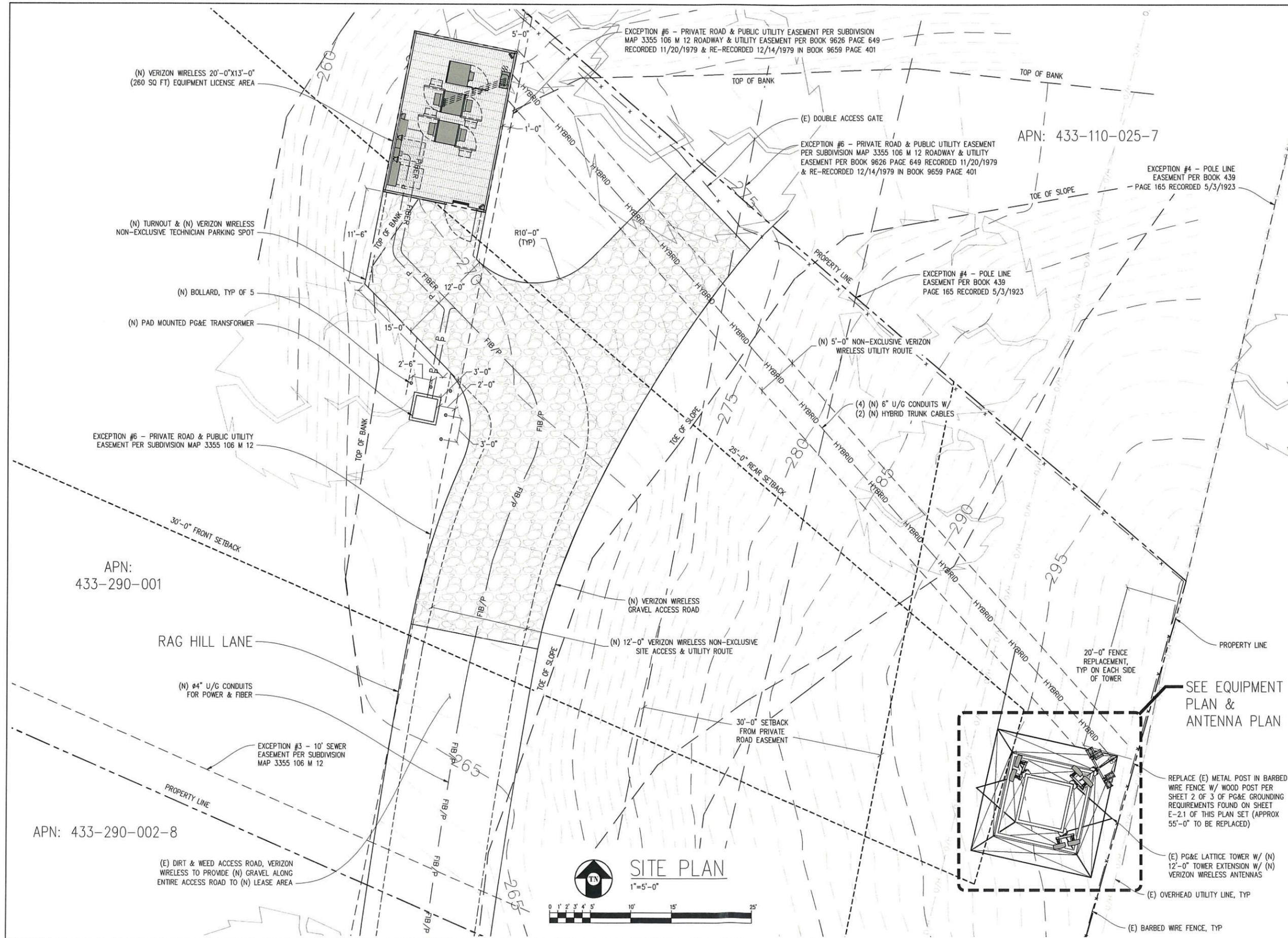
CHECKED BY: J. GRAY

APPROVED BY: -

DATE: 12/02/19

SHEET TITLE:
OVERALL
SITE PLAN

SHEET NUMBER:
A-1



CASTRO RANCH ROAD

193565
90 TAVASZI TERRACE
EL SOBRANTE, CA 94803

verizon

2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

Streamline Engineering
and Design, Inc.

8445 Sierra College Blvd, Suite E Granite Bay, CA 95661
Contact: Kevin Sorensen Phone: 916-660-1930
E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

THIS PLAN AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. NO PART OF THIS PLAN OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. Company: 508. 01/20/19

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

KEVIN R. SORENSEN
54469

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	10/24/19	CD 90%	J.S.
	10/29/19	CLIENT REV	D.G.
	12/02/19	CD 100%	Z.P.
	-	-	-
	-	-	-

DRAWN BY: C. CODY

CHECKED BY: J. GRAY

APPROVED BY: -

DATE: 12/02/19

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

A-2

EXCEPTION #6 - PRIVATE ROAD & PUBLIC UTILITY EASEMENT PER SUBDIVISION MAP 3355 106 M 12 ROADWAY & UTILITY EASEMENT PER BOOK 9626 PAGE 649 RECORDED 11/20/1979 & RE-RECORDED 12/14/1979 IN BOOK 9659 PAGE 401

APN: 433-110-025-7

EXCEPTION #6 - PRIVATE ROAD & PUBLIC UTILITY EASEMENT PER SUBDIVISION MAP 3355 106 M 12 ROADWAY & UTILITY EASEMENT PER BOOK 9626 PAGE 649 RECORDED 11/20/1979 & RE-RECORDED 12/14/1979 IN BOOK 9659 PAGE 401

EXCEPTION #4 - POLE LINE EASEMENT PER BOOK 439 PAGE 165 RECORDED 5/3/1923

EXCEPTION #4 - POLE LINE EASEMENT PER BOOK 439 PAGE 165 RECORDED 5/3/1923

SITE PLAN

1"=5'-0"



SEE EQUIPMENT PLAN & ANTENNA PLAN

REPLACE (E) METAL POST IN BARBED WIRE FENCE W/ WOOD POST PER SHEET 2 OF 3 OF PG&E GROUNDING REQUIREMENTS FOUND ON SHEET E-2.1 OF THIS PLAN SET (APPROX 55'-0" TO BE REPLACED)

(E) PG&E LATTICE TOWER W/ (N) 12'-0" TOWER EXTENSION W/ (N) VERIZON WIRELESS ANTENNAS

(E) OVERHEAD UTILITY LINE, TYP

(E) BARBED WIRE FENCE, TYP

CASTRO RANCH ROAD

193565
90 TAVASZI TERRACE
EL SOBRANTE, CA 94803

verizon

2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

Streamline Engineering and Design, Inc.
8445 Sierra College Blvd, Suite E Granite Bay, CA 95661
Contact: Kevin Sorensen Phone: 916-660-1930
E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

THIS PLAN AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. NO PART OF THIS PLAN OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. COMPANY: 0001 STREAMLINE ENGINEERING AND DESIGN, INC. ALL RIGHTS RESERVED.

PRELIMINARY:
NOT FOR
CONSTRUCTION

KEVIN R. SORENSEN
S4469

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	10/24/19	CD 90%	J.S.
	10/29/19	CLIENT REV	D.G.
	12/02/19	CD 100%	Z.P.
	-	-	-
	-	-	-
	-	-	-

DRAWN BY: C. CODY

CHECKED BY: J. GRAY

APPROVED BY: -

DATE: 12/02/19

SHEET TITLE:

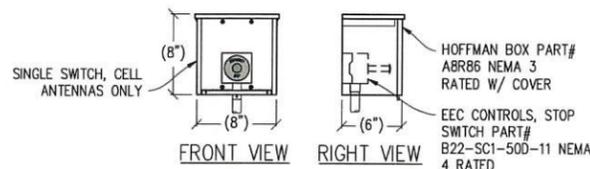
EQUIPMENT PLAN
& DETAILS

SHEET NUMBER:

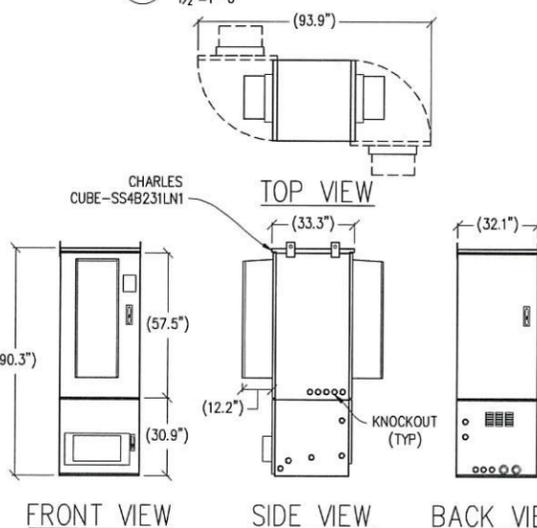
A-3

INSTALLATION & PLACEMENT GUIDELINES

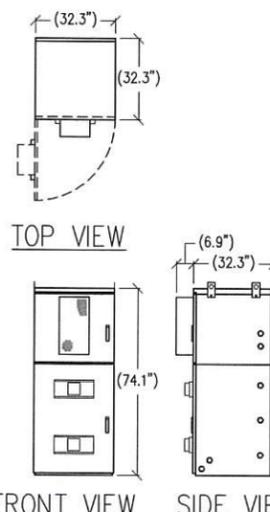
1. THE SHUTDOWN SWITCH BOX SHALL BE CLEARLY VISIBLE WHEN APPROACHING THE SITE, LOCATED INSIDE A PG&E LOCKED BOX, AND LOCATED OUTSIDE LICENSEE EQUIPMENT SHELTER.
2. FOR EQUIPMENT SHELTER INSTALLATIONS: THE SHUTDOWN SWITCH BOX SHALL BE LOCATED ADJACENT TO THE EQUIPMENT SHELTER ENTRANCE DOOR.
3. FOR FENCED EQUIPMENT CABINET INSTALLATIONS: THE SHUTDOWN SWITCH BOX SHALL BE LOCATED WITHIN THE FENCED AREA AS CLOSE AS POSSIBLE TO THE FENCE ENTRANCE AND IN PLAIN VIEW.
4. FOR UNFENCED EQUIPMENT CABINET INSTALLATIONS: THE SHUTDOWN SWITCH BOX SHALL BE PLACED IN DIRECT VIEW FROM SITE ACCESS PATH.
5. FOR UNDERGROUND VAULT INSTALLATIONS: THE SHUTDOWN SWITCH BOX SHALL BE MOUNTED TO THE ABOVE GROUND PORTION OF THE ACCESS ENTRANCE.



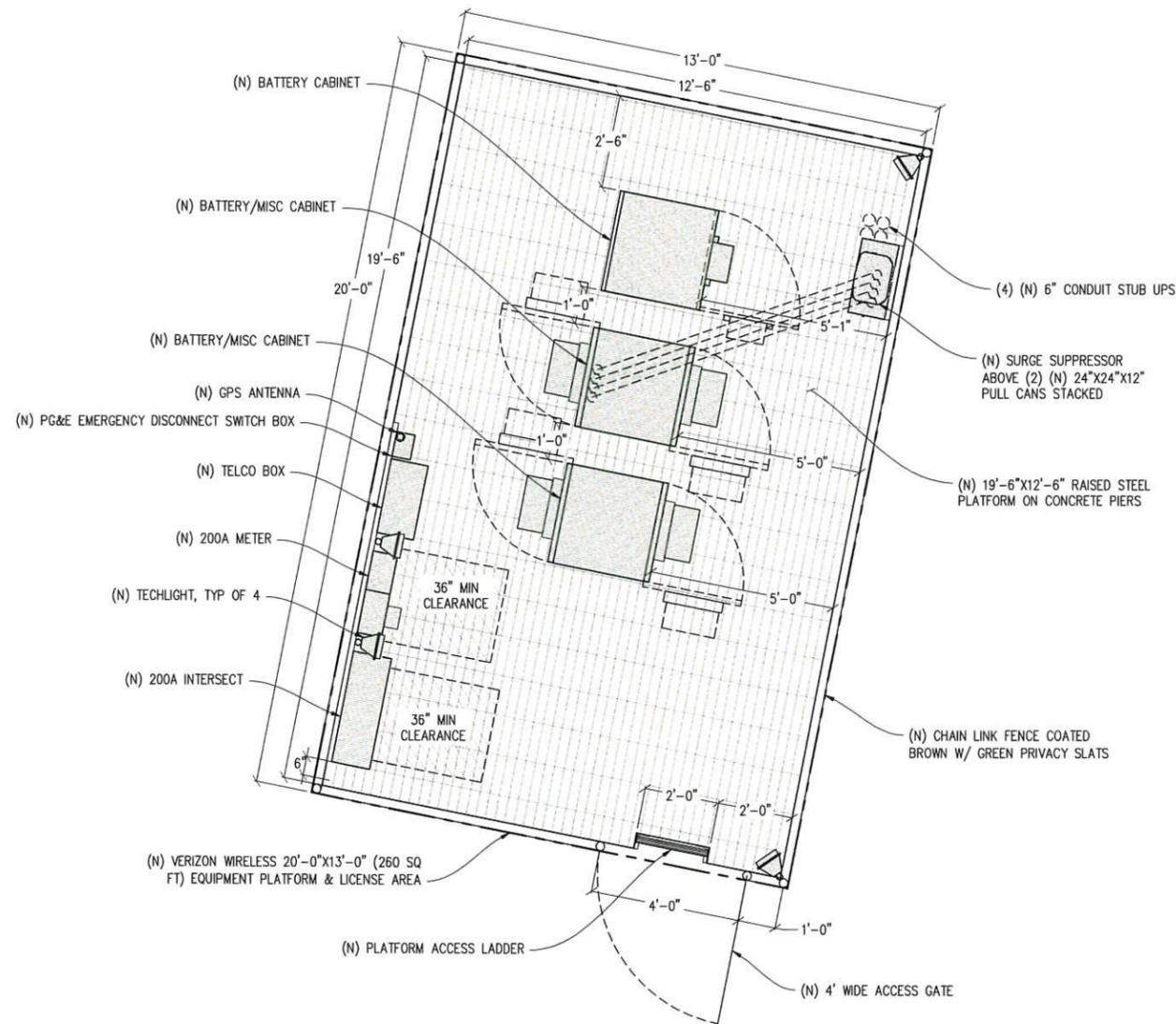
EMERGENCY STOP SWITCH DETAIL
1/2"=1'-0"



BATTERY/MISC CABINET DETAIL
2/8"=1'-0" MAX. WEIGHT: 2,500 LBS



BATTERY CABINET DETAIL
3/8"=1'-0" WEIGHT: 3,400 LBS



EQUIPMENT PLAN

1/2"=1'-0"



NOTES:
VERIZON WIRELESS WILL INSTALL (4) (N) #3" CONDUITS FROM (N) BATTERY/MISC CABINET TO (N) 24"X24" PULL CANS. (2) (N) CONDUITS FOR DC POWER CABLES & (2) (N) CONDUITS FOR FIBER CABLES.

CASTRO RANCH ROAD

193565
90 TAVASZI TERRACE
EL SOBRANTE, CA 94803



2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

Streamline Engineering
and Design, Inc.

8445 Sierra College Blvd, Suite E Granite Bay, CA 95661
Contact: Kevin Sorensen Phone: 916-860-1930
E-Mail: kevin@streamlineeng.com Fax: 916-860-1941

THIS PLAN AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE, AND SHALL REMAIN THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. NO PART OF THIS PLAN OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. COMPANY SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

PRELIMINARY:
NOT FOR
CONSTRUCTION

KEVIN R. SORENSEN
S4469

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	10/24/19	CD 90%	J.S.
	10/29/19	CLIENT REV	D.G.
	12/02/19	CD 100%	Z.P.
	-	-	-
	-	-	-
	-	-	-

DRAWN BY: C. CODY

CHECKED BY: J. GRAY

APPROVED BY: -

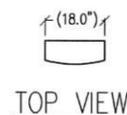
DATE: 12/02/19

SHEET TITLE:

ANTENNA PLAN
& DETAILS

SHEET NUMBER:

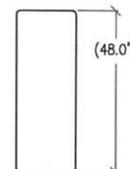
A-4



TOP VIEW

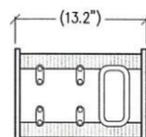


LEFT VIEW

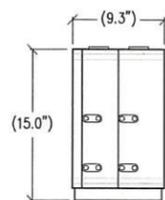


FRONT VIEW

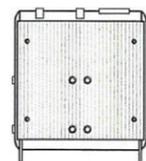
1 ANTENNA DETAIL
1/2"=1" MAX WEIGHT: 49.8 LBS



TOP VIEW

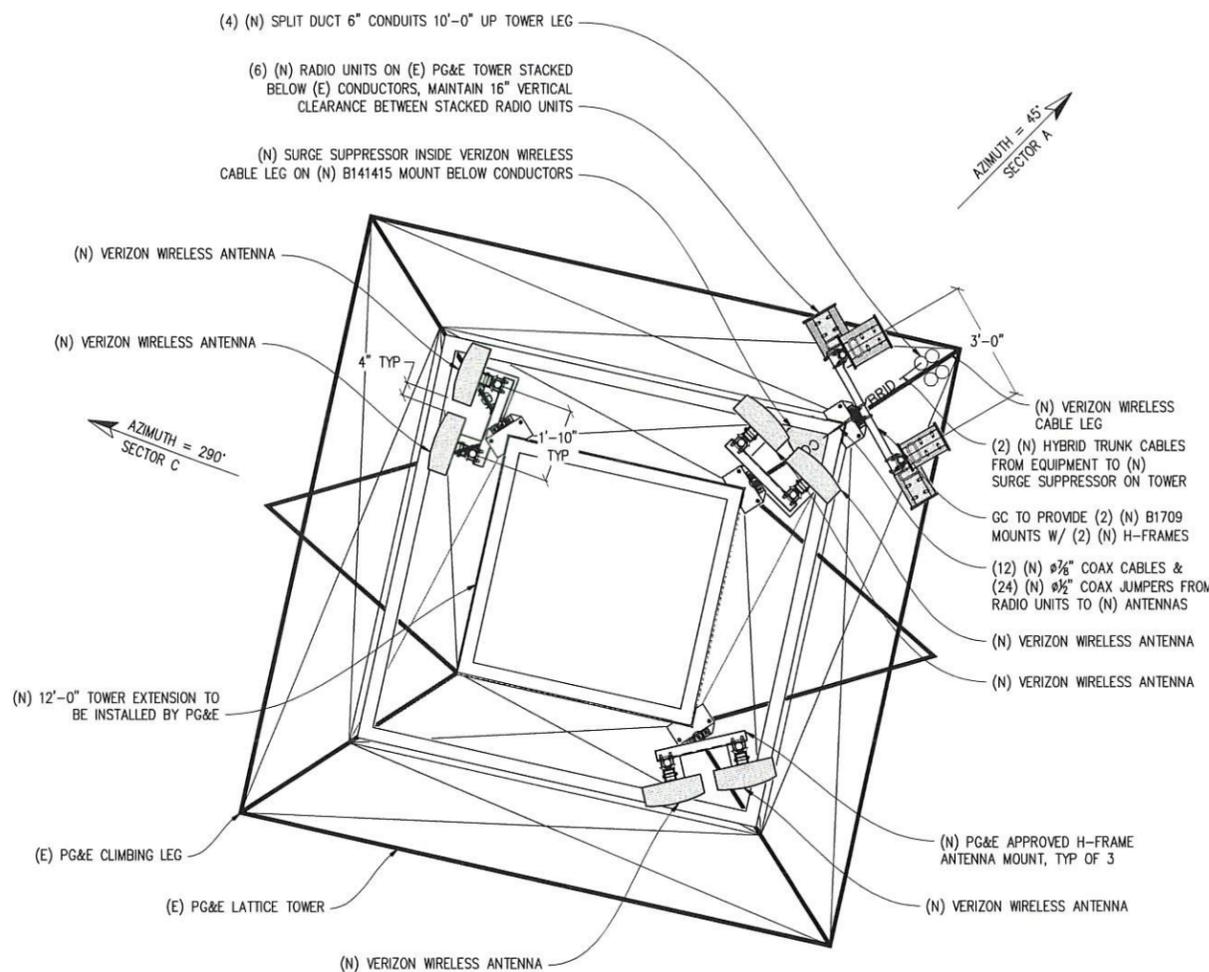


SIDE VIEW



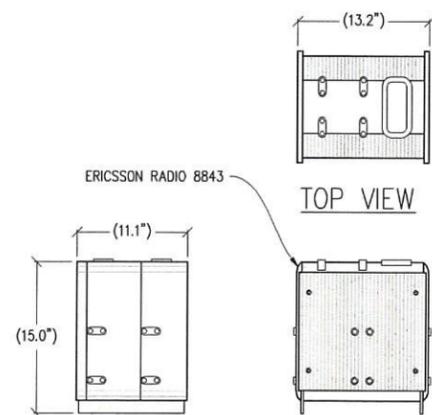
FRONT VIEW

2 RADIO DETAIL
1 1/2"=1'-0" MAX WEIGHT: 70 LBS



ANTENNA PLAN
1/2"=1'-0"

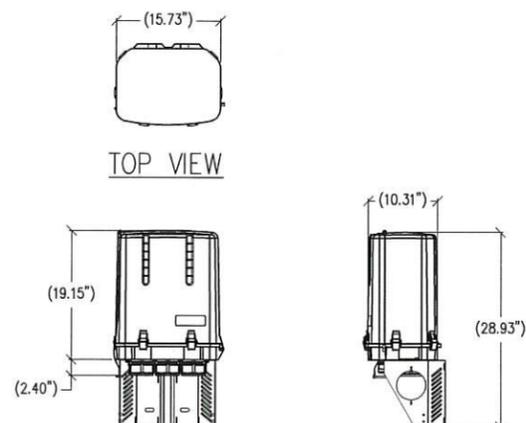
NOTE: PAINT ALL (N) VERIZON WIRELESS ANTENNAS TO MATCH (E) LATTICE TOWER W/ NON-REFLECTIVE FINISH. THE PAINT TO BE USED WILL HAVE A REFLECTIVITY LESS THAN 55%



SIDE VIEW

FRONT VIEW

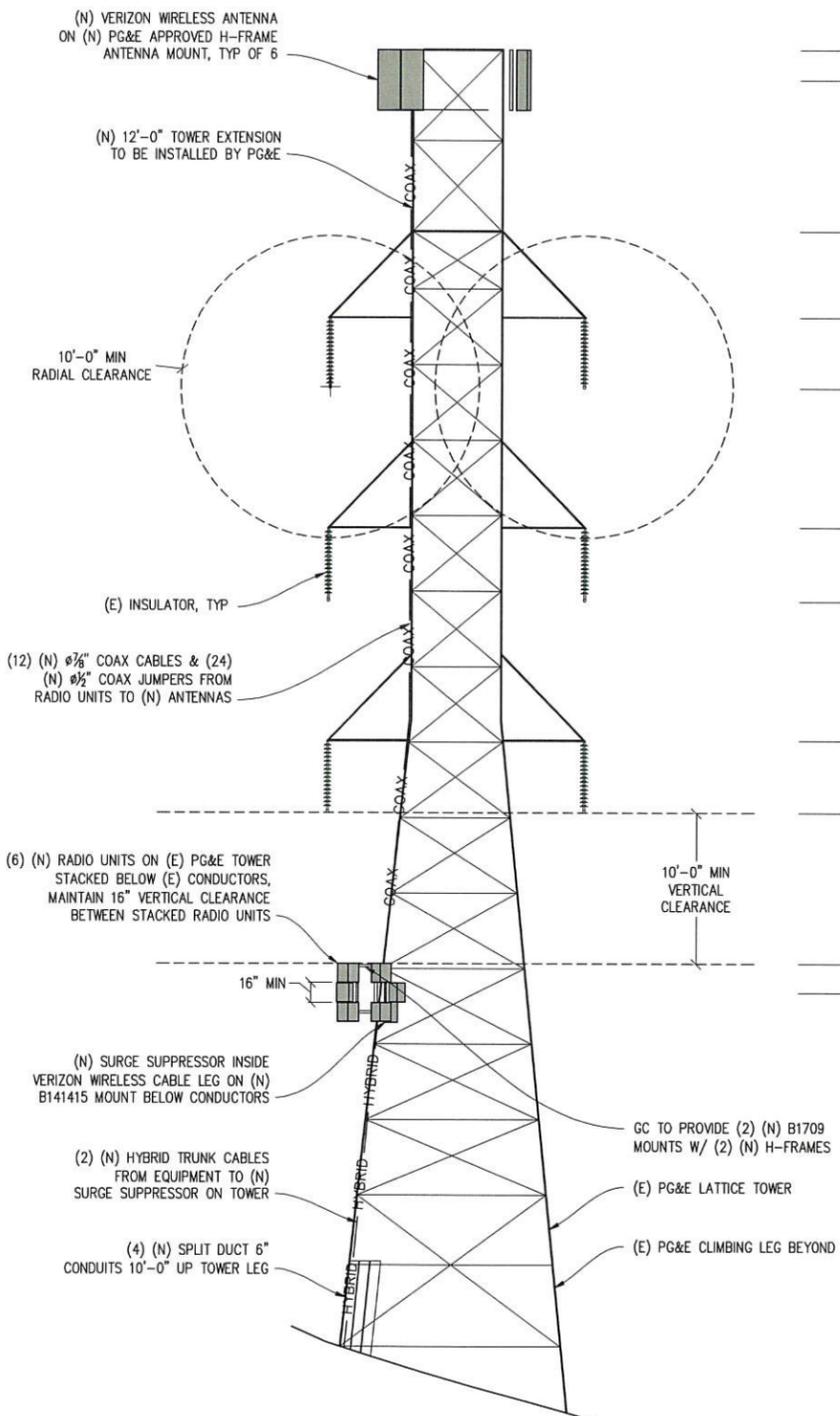
3 RADIO DETAIL
1 1/2"=1'-0" MAX WEIGHT: 75 LBS



FRONT VIEW

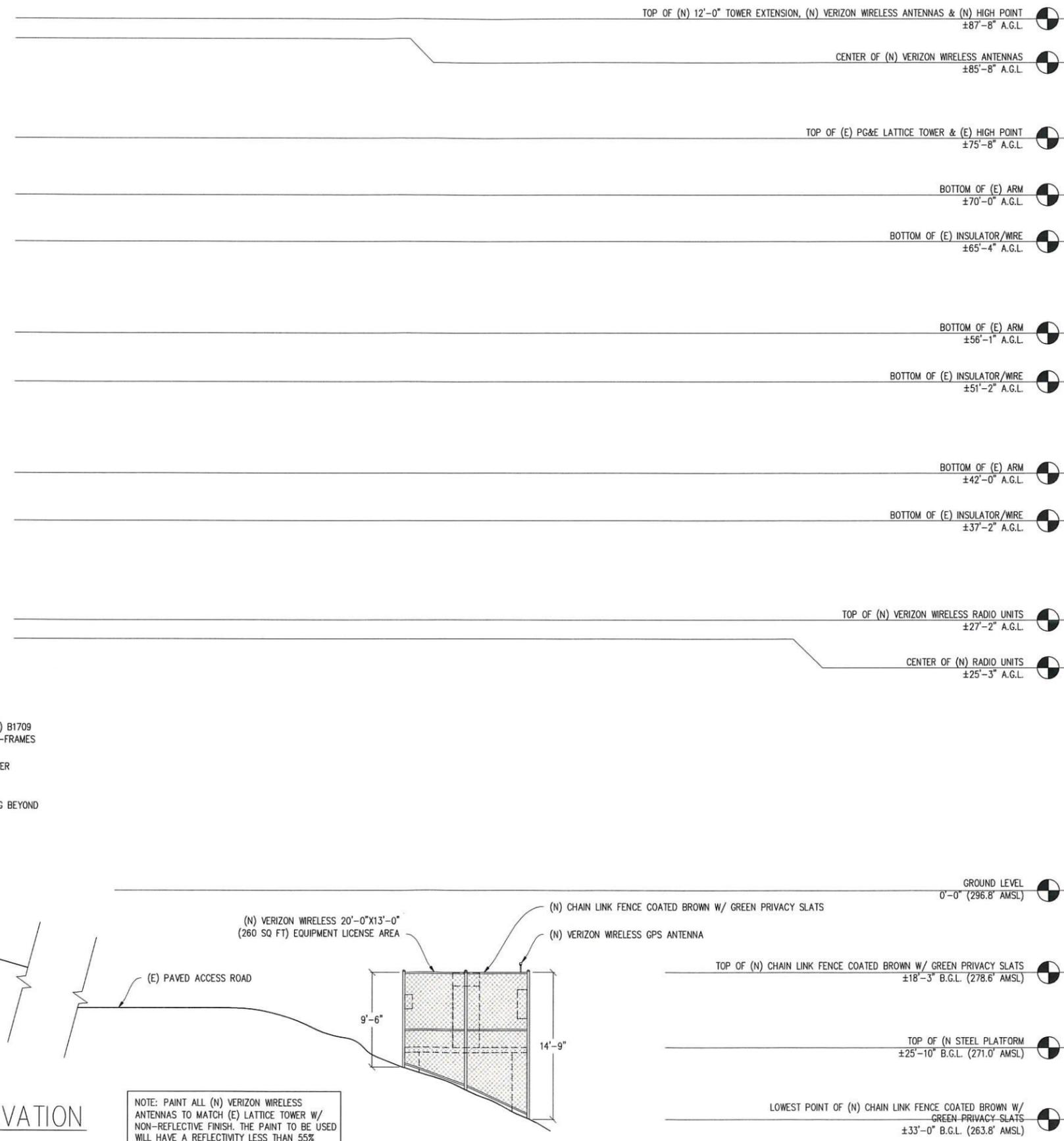
RIGHT VIEW

4 SURGE PROTECTION BOX
1"=1'-0" MAX WEIGHT: 32.0 LBS



NORTH ELEVATION
 $\frac{3}{16}'' = 1'-0''$

NOTE: PAINT ALL (N) VERIZON WIRELESS ANTENNAS TO MATCH (E) LATTICE TOWER W/ NON-REFLECTIVE FINISH. THE PAINT TO BE USED WILL HAVE A REFLECTIVITY LESS THAN 55%



CASTRO RANCH ROAD
 193565
 90 TAVASZI TERRACE
 EL SOBRANTE, CA 94803



Streamline Engineering and Design, Inc.
 8445 Sierra College Blvd, Suite E Granite Bay, CA 95661
 Contact: Kevin Sorensen Phone: 916-660-1930
 E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

THIS PLAN AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. AND SHALL BE LOANED TO THE CLIENT FOR THE PROJECT ONLY. NO REPRODUCTION OR TRANSMISSION OF ANY KIND IS PERMITTED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. Complete Code Enforcement, Engineering and Construction. All Rights Reserved.

**PRELIMINARY:
 NOT FOR
 CONSTRUCTION**
 KEVIN R. SORENSEN
 S4469

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	10/24/19	CD 90%	J.S.
	10/29/19	CLIENT REV	D.G.
	12/02/19	CD 100%	Z.P.
	-	-	-
	-	-	-

DRAWN BY: C. CODY
 CHECKED BY: J. GRAY
 APPROVED BY: -
 DATE: 12/02/19

SHEET TITLE:
 ELEVATION
SHEET NUMBER:
 A-5

CASTRO RANCH ROAD

193565
90 TAVASZI TERRACE
EL SOBRANTE, CA 94803



2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

Streamline Engineering and Design, Inc.

8445 Sierra College Blvd, Suite E Granite Bay, CA 95661

Contact: Kevin Sorensen Phone: 916-860-1930
E-Mail: kevin@streamlineinc.com Fax: 916-860-1941

THIS PLAN AND SPECIFICATIONS ARE PRELIMINARY AND SHALL REMAIN THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. NO PART OF THIS PLAN OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. Copyright © 2019 Streamline Engineering and Design, Inc. All Rights Reserved.

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

KEVIN R. SORENSEN
S4469

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	10/24/19	CD 90%	J.S.
	10/29/19	CLIENT REV	D.G.
	12/02/19	CD 100%	Z.P.
	-	-	-
	-	-	-

DRAWN BY: C. CODY

CHECKED BY: J. GRAY

APPROVED BY: -

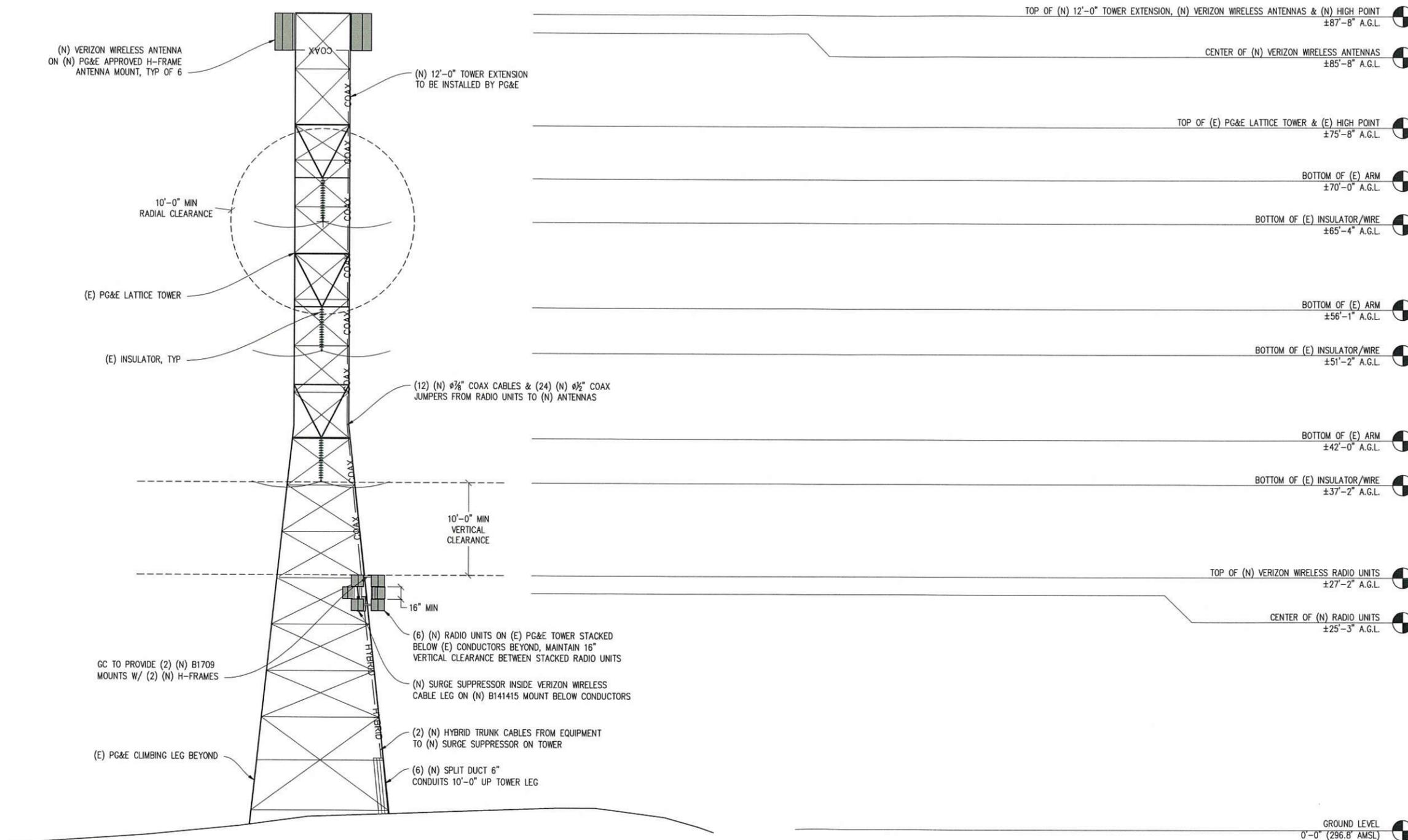
DATE: 12/02/19

SHEET TITLE:

ELEVATION

SHEET NUMBER:

A-6



(N) VERIZON WIRELESS ANTENNA ON (N) PG&E APPROVED H-FRAME ANTENNA MOUNT, TYP OF 6

(N) 12'-0" TOWER EXTENSION TO BE INSTALLED BY PG&E

10'-0" MIN RADIAL CLEARANCE

(E) PG&E LATTICE TOWER

(E) INSULATOR, TYP

(12) (N) #7/8" COAX CABLES & (24) (N) #1/2" COAX JUMPERS FROM RADIO UNITS TO (N) ANTENNAS

10'-0" MIN VERTICAL CLEARANCE

16" MIN

GC TO PROVIDE (2) (N) B1709 MOUNTS W/ (2) (N) H-FRAMES

(E) PG&E CLIMBING LEG BEYOND

(6) (N) RADIO UNITS ON (E) PG&E TOWER STACKED BELOW (E) CONDUCTORS BEYOND, MAINTAIN 16" VERTICAL CLEARANCE BETWEEN STACKED RADIO UNITS

(N) SURGE SUPPRESSOR INSIDE VERIZON WIRELESS CABLE LEG ON (N) B141415 MOUNT BELOW CONDUCTORS

(2) (N) HYBRID TRUNK CABLES FROM EQUIPMENT TO (N) SURGE SUPPRESSOR ON TOWER

(6) (N) SPLIT DUCT 6" CONDUITS 10'-0" UP TOWER LEG

TOP OF (N) 12'-0" TOWER EXTENSION, (N) VERIZON WIRELESS ANTENNAS & (N) HIGH POINT ±87'-8" A.G.L.

CENTER OF (N) VERIZON WIRELESS ANTENNAS ±85'-8" A.G.L.

TOP OF (E) PG&E LATTICE TOWER & (E) HIGH POINT ±75'-8" A.G.L.

BOTTOM OF (E) ARM ±70'-0" A.G.L.

BOTTOM OF (E) INSULATOR/WIRE ±65'-4" A.G.L.

BOTTOM OF (E) ARM ±56'-1" A.G.L.

BOTTOM OF (E) INSULATOR/WIRE ±51'-2" A.G.L.

BOTTOM OF (E) ARM ±42'-0" A.G.L.

BOTTOM OF (E) INSULATOR/WIRE ±37'-2" A.G.L.

TOP OF (N) VERIZON WIRELESS RADIO UNITS ±27'-2" A.G.L.

CENTER OF (N) RADIO UNITS ±25'-3" A.G.L.

GROUND LEVEL 0'-0" (296.8' AMSL)

EAST ELEVATION

3/16" = 1'-0"

NOTE: PAINT ALL (N) VERIZON WIRELESS ANTENNAS TO MATCH (E) LATTICE TOWER W/ NON-REFLECTIVE FINISH. THE PAINT TO BE USED WILL HAVE A REFLECTIVITY LESS THAN 55%

CONSTRUCTION NOTES

- EXISTING BUILDING CONSTRUCTION CONDITIONS INDICATED ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH CONSTRUCTION OR ORDERING OF MATERIALS. IF EXISTING CONDITIONS DO NOT ALLOW FOR DETAILS OF CONSTRUCTION AS SHOWN ON THESE DRAWINGS, NOTIFY ENGINEER OF RECORD FOR RESOLUTION PRIOR TO PROCEEDING. CONTRACTOR SHALL EXPOSE AND REVIEW EXISTING CONDITIONS IN A TIMELY MANNER SUCH THAT ALTERNATE DESIGNS OR DETAILS, IF REQUIRED, MAY BE GENERATED WITHOUT DELAY TO THE PROJECT.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL NOT ALTER, DAMAGE OR REMOVE ANY PART OF THE EXISTING STRUCTURE UNLESS SPECIFICALLY DETAILED ON THESE DRAWINGS.
- THE INTENT OF THESE DRAWINGS IS THAT THE WORK OF THE ADDITION, ALTERATION, REHABILITATION, OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH THE 2016 CBC. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NONCOMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH THE 2016 CBC, A CHANGE ORDER, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE PREPARED AND SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT PRIOR TO PROCEEDING WITH THE WORK.
- ALL WORK AND MATERIALS SHOWN ARE NEW UNLESS INDICATED AS EXISTING (E). IT MAY BE NECESSARY TO REMOVE ARCHITECTURAL FINISHES, PLUMBING PIPES AND FIXTURES, ELECTRICAL CONDUIT, FIXTURES, PANELS, BOXES, TELEPHONE OR FIRE ALARM WIRING AND FIXTURES OR OTHER NON-STRUCTURAL ITEMS TO INSTALL STRUCTURAL WORK AND MATERIALS SHOWN ON THESE DRAWINGS. SUCH ITEMS SHALL BE REMOVED, REPAIRED AND/OR REPLACED TO MATCH PRE-CONSTRUCTION CONDITIONS AT THE CONTRACTORS EXPENSE.
- ALL WEATHER PROOFING, INCLUDING BUT NOT LIMITED TO TORCH DOWN, CAULKING, Z-FLASHING OR ANY OTHER MATERIAL THAT MAY BE ALTERED DURING INSTALLATION SHALL BE REPAIRED REPLACED AND/OR MODIFIED TO ENSURE THE BUILDING AT THE INSTALLATION SITE IS WEATHER PROOF.
- ANY PROPOSED SUBSTITUTIONS FOR STRUCTURAL MEMBERS, HARDWARE, ANCHOR TYPES, OR DETAILING INDICATED IN THESE DRAWINGS SHALL BE SUBMITTED TO AND REVIEWED BY THE ENGINEER OF RECORD PRIOR TO ORDERING MATERIALS. SUCH REVIEW SHALL BE BILLED ON A TIME AND MATERIALS BASIS TO THE CONTRACTOR WITH NO GUARANTEE THAT THE SUBSTITUTION WILL BE ALLOWED.
- CONTRACTOR SHALL ENSURE ALL ROOF AREAS HAVE POSITIVE SLOPE TO ALL EXISTING ROOF DRAINS. PROVIDE ADDITIONAL CRICKETS OR BUILD UP ROOFING AS REQUIRED TO PROVIDE POSITIVE DRAINAGE AROUND ALL NEW CONSTRUCTION INCLUDING ANY CURBS, SLEEPERS, SUPPORT BASES, ETC.

STRUCTURAL STEEL NOTES

- ALL STEEL CONSTRUCTION INCLUDING FABRICATION, ERECTION AND MATERIALS SHALL COMPLY WITH ALL REQUIREMENTS OF THE 2010 AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AND THE 2016 CBC.
- ALL STRUCTURAL STEEL SHALL BE ASTM A36 UNLESS OTHERWISE NOTED. ALL WF (WIDE FLANGE) & WT (TEE) SHAPES TO BE ASTM A992 ($F_y=50,000$ PSI) UNLESS NOTED OTHERWISE. ALL STRUCTURAL TUBING (TS OR HSS) SHALL BE ASTM A500 GRADE B ($F_y=46,000$ PSI). ALL STEEL PIPE SHALL BE ASTM A53 (TYPE E OR S, GRADE B ($F_y=35,000$ PSI)) SCHEDULE 40 WITH OUTSIDE DIAMETERS GIVEN UNLESS OTHERWISE NOTED.
- ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES UNLESS OTHERWISE NOTED AND SHALL CONFORM TO AISC & AWS D1.1. WHERE FILLET WELD SIZES ARE NOT SHOWN PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC SPECIFICATION. PAINTED SURFACES SHALL BE TOUCHED UP.
- ALL WELDING SHALL BE PERFORMED BY QUALIFIED, CERTIFIED WELDERS.
- BOLTS SHALL BE GALVANIZED ASTM F3125/F3125M MINIMUM. BOLTED CONNECTIONS SHALL BE BEARING TYPE. SEE PLANS FOR LOCATION, NUMBER, & SIZE OF BOLTS. SPECIAL INSPECTION IS REQUIRED FOR HIGH STRENGTH BOLTS.
- THREADED RODS SHALL BE ASTM F1554, GR 36 U.O.N. BOLTED CONNECTIONS SHALL BE BEARING TYPE. SEE PLANS FOR LOCATION, NUMBER, & SIZE OF BOLTS.
- ALL HOLES FOR BOLTED CONNECTIONS SHALL BE 1/16" LARGER THAN THE NOMINAL BOLT DIAMETER. USE STANDARD AISC GAGE AND PITCH FOR BOLTS EXCEPT AS NOTED OTHERWISE. HOLES FOR ANCHOR BOLTS IN BASE PLATES MAY BE AISC "OVERSIZE" HOLES WHERE ACCOMPANIED BY OVERSIZED HARDENED HOT DIPPED GALVANIZED WASHERS.
- ALL SHOP FABRICATED STEEL STRUCTURAL MEMBERS FOR EXTERIOR USE SHALL BE HOT DIP GALVANIZED PER ASTM A123 AFTER FABRICATION & PAINTED PER CUSTOMER SPECIFICATIONS AS REQUIRED. STEEL FOR INTERIOR USE SHALL BE SHOP COAT OR GALVANIZED & PAINTED PER PLAN.
- ALL FIELD FABRICATED GALVANIZED STEEL THAT IS CUT, GROUND, DRILLED, WELDED OR DAMAGED SHALL BE TREATED WITH "ZINC RICH" COLD GALVANIZING SPRAY OR COATING. NO RAW STEEL SHALL BE EXPOSED.
- AT ALL WEB STIFFENER PLATES LEAVE 3/4" (OR K, WHICHEVER IS LARGER) HOLE @ WEB/FLANGE INTERSECTION UNLESS NOTED OTHERWISE.
- BOLTS AT ANTENNA & RRU MOUNT TO BE ASTM F3125/F3125M A194M U.O.N.
- ALL NUTS SHALL BE ASTM A563/A563M ALL WASHERS SHALL BE ASTM F436/F436M.
- ALL STRUT MEMBERS USED IN EXTERIOR APPLICATIONS SHALL BE HOT DIPPED GALVANIZED PER ASTM A123 OR ASTM A153.
- ALL STAINLESS STEEL BOLTED CONNECTIONS SHALL BE ASTM F593-17 AND STAINLESS STEEL NUTS SHALL BE ASTM F594-09 (2015).

CONCRETE NOTES

- ALL CONCRETE CONSTRUCTION SHALL CONFORM TO ACI 318-14. CONCRETE MIX DESIGN SHALL BE REVIEWED BY AN INDEPENDENT TESTING LABORATORY AND SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW.
- CONTRACTOR SHALL VERIFY SITE CONDITIONS & ALL DIMENSIONS PRIOR TO STARTING WORK. NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES FOR RESOLUTION PRIOR TO PROCEEDING.
- ALL CONCRETE SHALL BE A MINIMUM 5 SACK MIX WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.
- CEMENT SHALL CONFORM TO ASTM C150, TYPE II.
- CONCRETE AGGREGATES SHALL CONFORM TO ASTM C33.
- ALL REINFORCING STEEL SHALL BE GRADE 60 AND CONFORM TO ASTM A615 UNLESS OTHERWISE NOTED. SEE PLAN FOR SIZE AND PLACEMENT.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A1064.
- REINFORCING STEEL SHALL BE FABRICATED ACCORDING TO "MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION".
- MINIMUM LAP SPLICE SHALL BE 48 BAR DIAMETERS UNLESS OTHERWISE NOTED.
- MINIMUM BEND DIAMETER SHALL BE 6 BAR DIAMETERS UNLESS OTHERWISE NOTED.
- MINIMUM REINFORCING COVERAGE IS 3" UNLESS OTHERWISE NOTED.
- CONCRETE SHALL BE PLACED AGAINST FIRM UNDISTURBED NON EXPANSIVE SOIL AT DEPTH SHOWN. WHERE OTHER CONDITIONS ARE ENCOUNTERED DURING EXCAVATION THE ENGINEER SHALL BE NOTIFIED AND REMEDIAL MEASURES PRESCRIBED PRIOR TO PROCEEDING WITH WORK.
- BOTTOM OF ALL FOOTING TRENCHES SHALL BE CLEAN AND LEVEL. REMOVE ALL DEBRIS BEFORE PLACING ANY CONCRETE.
- ALL ANCHOR BOLTS & THREADED ROD SHALL BE ASTM F1554, GR.36 MINIMUM UNLESS OTHERWISE NOTED, NEW, & WITHOUT SIGNIFICANT RUST.
- A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE UNLESS OTHERWISE NOTED.
- REINFORCING, DOWELS, BOLTS, ANCHORS, SLEEVES, ETC. TO BE EMBEDDED IN CONCRETE SHALL BE SECURELY POSITIONED BEFORE PLACING CONCRETE.
- ALL CONCRETE SHALL BE THOROUGHLY CONSOLIDATED BY MOTORIZED VIBRATORY MEANS AND THOROUGHLY WORKED AROUND REINFORCEMENT, EMBEDDED ITEMS AND INTO CORNERS OF FORMS.

EXPANSION & EPOXY ANCHORS

- EXPANSION AND EPOXY ANCHORS SHALL BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE 2016 CALIFORNIA BUILDING CODE (CBC).
- ALL ANCHORS PROVIDED SHALL BE INCLUDED IN EVALUATION REPORTS OF THE INTERNATIONAL CODE COUNCIL (ICC), AND SHALL BE EVALUATED FOR 2015 IBC MINIMUM REQUIREMENTS IN THE ICC REPORT.
- CONCRETE EXPANSION ANCHORS SHALL BE KWIK BOLT TZ BY HILTI, INC., TULSA, OKLAHOMA AS PER ICC REPORT NO. ESR-1917 OR APPROVED EQUIVALENT.
- CMU EXPANSION ANCHORS SHALL BE KWIK BOLT TZ BY HILTI, INC., TULSA, OKLAHOMA AS PER ICC REPORT NO. ESR-3785 OR APPROVED EQUIVALENT. ANCHORS SHALL BE INSTALLED A MINIMUM OF 1 3/8" FROM ANY VERTICAL MORTAR JOINT TYPICAL. ANCHORS TO BE SPACED 8 INCHES ON CENTER MINIMUM AND LIMITED TO ONE ANCHOR PER CELL.
- CONCRETE ADHESIVE EPOXY ANCHORS SHALL BE HIT RE-500SD BY HILTI, INC., TULSA, OKLAHOMA AS PER ICC REPORT NO. ESR-2322 OR APPROVED EQUIVALENT.
- GROUT FILLED CMU ADHESIVE EPOXY ANCHORS SHALL BE HIT-HY 200 BY HILTI, INC., TULSA, OKLAHOMA AS PER ICC REPORT NO. ESR-3963 OR APPROVED EQUIVALENT.
- INSTALL EXPANSION AND EPOXY ANCHORS WITH SPECIAL INSPECTION IN ACCORDANCE WITH THE 2016 CBC, TABLE 1705.3, AND ALL REQUIREMENTS OF THE MANUFACTURER, THE MANUFACTURER'S ICC APPROVAL AND THESE DRAWINGS.
- EXPANSION ANCHORS SHALL BE 304/316 STAINLESS STEEL U.O.N. EPOXY ANCHOR THREADED ROD SHALL BE ASTM F593 CW1 (316) (1/4" TO 3/8") OR F593 CW2 (316) (3/4" TO 1 1/2") STAINLESS STEEL U.O.N.
- LOCATE AND AVOID REINFORCEMENT AND OTHER EMBEDDED ITEMS WHEN INSTALLING ANCHORS, TYPICAL. SEE CONCRETE CORE DRILLING NOTES FOR ADDITIONAL INFORMATION.
- THE SPECIAL INSPECTOR MUST MAKE PERIODIC INSPECTIONS DURING ANCHOR INSTALLATION TO VERIFY ANCHOR TYPE AND DIMENSIONS, CONCRETE MEMBER THICKNESS, ANCHOR SPACING, EDGE DISTANCES, TIGHTENING TORQUE, HOLE DIAMETER, DEPTH AND CLEANLINESS, ANCHOR EMBEDMENT AND ADHERENCE TO MANUFACTURER'S INSTALLATION INSTRUCTIONS. SEE NOTE 11 BELOW FOR FREQUENCY OF INSPECTIONS.
- 50% OF ALL ANCHORS, INCLUDING ALTERNATE BOLTS IN A GROUP OF ANCHORS, SHALL BE INSPECTED PER NOTE 10 ABOVE AND TORQUE TESTED PER THE ICC REPORT TEST VALUES NOTED BELOW.

KB TZ

CONCRETE TORQUE TEST VALUES:
 3/8"=25 FT LB 1/2"=40 FT LB 5/8"=60 FT LB 3/4"=110 FT LB

CMU TORQUE TEST VALUES:

3/8"=15 FT LB 1/2"=25 FT LB 5/8"=35 FT LB 3/4"=70 FT LB

EPOXY ANCHOR

CONCRETE TENSION TEST VALUES:
 1/2"=30 FT LB
 (TO BE DETERMINED AS NEEDED. A RFI WILL BE ISSUED IF NEEDED DURING CONSTRUCTION TO ESTABLISH THE REQUIRED TENSION TEST VALUES)

WOOD FENCE NOTES

- GATE, END OR CORNER POST SHALL BE 6X6 PTD, NO.1 GRADE MINIMUM.
- LINE POSTS SHALL BE 6X6 PTD, NO.1 GRADE MINIMUM.
- TOP, BOTTOM, & MID RAIL SHALL BE 2X4 PTD, STUD GRADE MINIMUM.
- TOP CAP SHALL BE 2X4 PTD, STUD GRADE MINIMUM.
- SLATS SHALL BE 1X6 PER PLAN (DOG EARED CUT).
- SCREW TOP CAP TO TOP RAIL AT 12" OC
- HIGH SECURITY (HDG) PADLOCK HASP MOUNTED THROUGH FENCE BOARDS TO 1/4" STEEL ON GATE MID RAIL SUPPORT.
- PROVIDE HOLE IN SLAB OR FOOTING FOR NEW 3/4" DROP BOLT. THICKEN SLAB @ DROP BOLT LOCATION AS REQUIRED.
- ALL NAILS, SCREWS, & OTHER HARDWARE SHALL BE HOT DIPPED GALVANIZED.
- NAILS & SCREWS SHALL BE OF CORRECT SIZE TO ENSURE A STRONG AND SERVICEABLE FENCE STRUCTURE.
- SLATS TO BE FASTENED W/ #8 GALV. WOOD SCREWS.
- HARDWARE TO BE FASTENED W/ #10 GALV. WOOD SCREWS.
- PTDF POST MATERIAL TO BE BURIED IN CONCRETE SHALL BE RATED FOR PERMANENT CONTACT WITH EARTH.
- ATTACH 2X4 PTD RAILS TO POSTS W/ (2) #10 GALV. WOOD SCREWS (MIN).

NOTE:
 STRUCTURAL NOTES WILL
 BE FINALIZED AFTER
 APPROVAL OF CD 90%

**CASTRO
 RANCH
 ROAD**

193565
 90 TAVASZI TERRACE
 EL SOBRANTE, CA 94803

verizon

2785 MITCHELL DRIVE, BLDG 9
 WALNUT CREEK, CA 94598

Streamline Engineering
Cam Design, Inc.
 8445 Sierra College Blvd, Suite E Granite Bay, CA 95661
 Contact: Kevin Sorenson Phone: 916-660-1930
 E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

THIS PLAN AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE. USE AND SHALL BE THE PROPERTY OF STREAMLINE ENGINEERING. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. Complete Set: Streamline Engineering and Design, Inc. All Rights Reserved.

PRELIMINARY:
 NOT FOR
 CONSTRUCTION

KEVIN R. SORENSON
 54469

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	10/24/19	CD 90%	J.S.
	10/29/19	CLIENT REV	D.G.
	12/02/19	CD 100%	Z.P.
	-	-	-
	-	-	-
	-	-	-

DRAWN BY: C. CODY
 CHECKED BY: J. GRAY
 APPROVED BY: -
 DATE: 12/02/19

SHEET TITLE:

STRUCTURAL NOTES

SHEET NUMBER:

S-1

**CASTRO
RANCH
ROAD**

193565
90 TAVASZI TERRACE
EL SOBRANTE, CA 94803



2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

8445 Sierra College Blvd, Suite E Granite Bay, CA 95661
Contact: Kevin Sorensen Phone: 916-860-1930
E-Mail: kevin@streamlineeng.com Fax: 916-860-1941

THESE PLANS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. AND SHALL REMAIN THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. IF ANY PART OF THESE PLANS OR SPECIFICATIONS IS REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. Changes, SOL, STRUCTURE ENGINEERING AND DESIGN, INC. ALL RIGHTS RESERVED.

NOTE:
STRUCTURAL PLANS WILL
BE FINALIZED AFTER
APPROVAL OF CD 90%

PRELIMINARY:
NOT FOR
CONSTRUCTION

KEVIN R. SORENSEN
S4469

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	10/24/19	CD 90%	J.S.
	10/29/19	CLIENT REV	D.G.
	12/02/19	CD 100%	Z.P.
	-	-	-
	-	-	-
	-	-	-

DRAWN BY: C. CODY
CHECKED BY: J. GRAY
APPROVED BY: -
DATE: 12/02/19

SHEET TITLE:
STRUCTURAL PLANS
SHEET NUMBER:
S-2

CASTRO RANCH ROAD

193565
90 TAVASZI TERRACE
EL SOBRANTE, CA 94803

verizon

2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

Streamline Engineering and Design, Inc.

8445 Sierra College Blvd, Suite E Granite Bay, CA 95661
Contact: Kevin Sorensen Phone: 916-660-1930
E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

THIS PLAN AND SPECIFICATIONS ARE THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. AND SHALL REMAIN THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. ANY REPRODUCTION OR TRANSMISSION OF THIS PLAN OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE ENGINEER, COMPANY, SHALL BE PROHIBITED AND PENALIZED. ALL RIGHTS RESERVED.

PRELIMINARY:
NOT FOR
CONSTRUCTION

KEVIN R. SORENSEN
S4469

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	10/24/19	CD 90%	J.S.
	10/29/19	CLIENT REV	D.G.
	12/02/19	CD 100%	Z.P.
	-	-	-
	-	-	-

DRAWN BY: C. CODY

CHECKED BY: J. GRAY

APPROVED BY: -

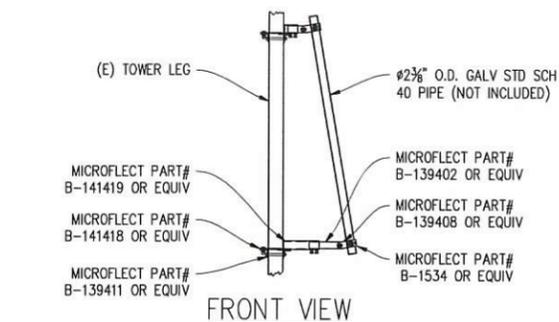
DATE: 12/02/19

SHEET TITLE:

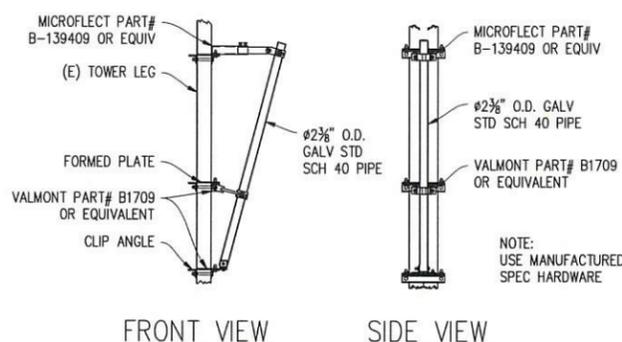
STRUCTURAL DETAILS

SHEET NUMBER:

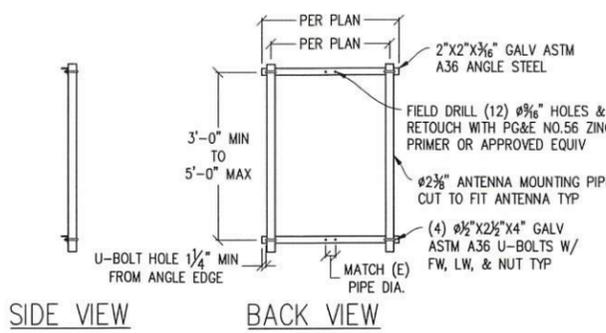
S-3



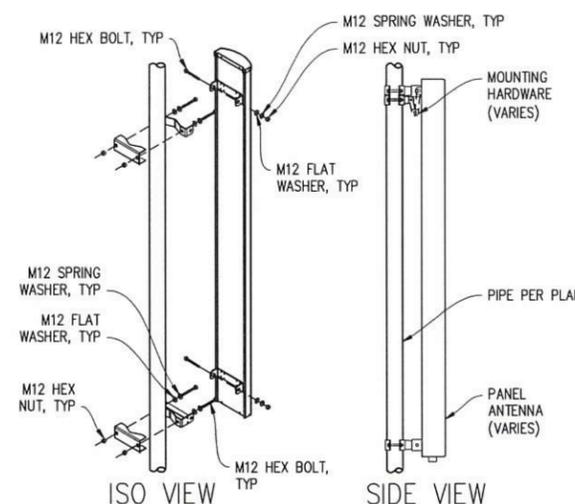
1 SURGE MOUNT BRACKET
1/2"=1'-0" VALMONT PART# B141415



2 TOWER MOUNTING BRACKET
1/2"=1'-0"

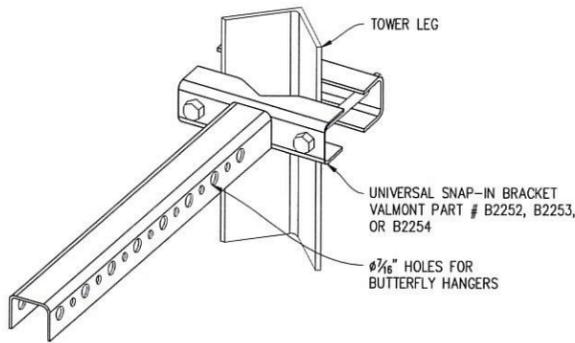


3 PG&E "H" BRACKET MOUNT
1/2"=1'-0"

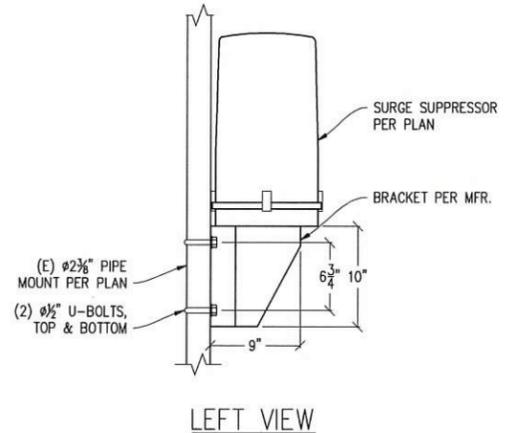


4 ANTENNA MOUNT DETAIL
1"=1'-0"

- NOTES:
- ALL THREADED ROD CONNECTIONS @ COLLAR MOUNTS SHALL BE INSTALLED TO A SNUG-TIGHT CONDITION.
 - PROVIDE LOCKWASHERS & NUTS @ ALL POLE CLAMP CONNECTIONS.
 - ALL FASTENERS INCLUDING HEX BOLTS, SPRING WASHERS & PLAIN WASHERS SHALL BE SS304. SEE STEEL NOTE 14.
 - INSTALLATION TORQUE FOR ANTENNA & EQUIPMENT MOUNT FASTENERS:
M8 (3/16") 11 FT-LBS
M10 (7/16") 27 FT-LBS
M12 (1/2") 43 FT-LBS

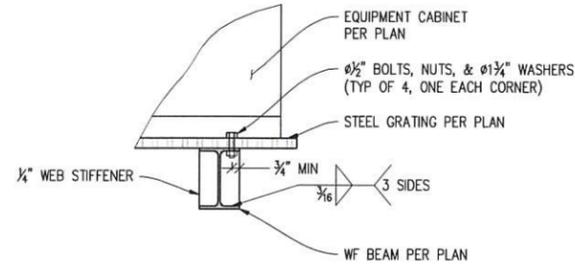


5 COAX T-BRACKET DETAIL
1"=6"

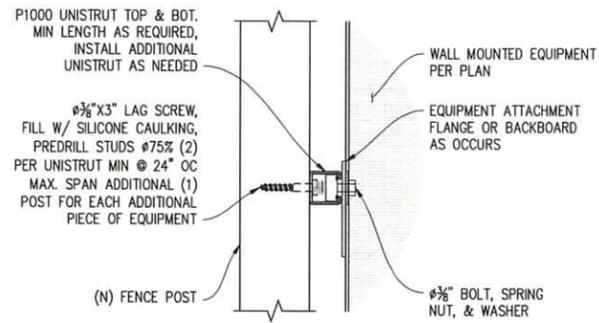


6 SURGE PIPE MOUNT DETAIL
1/2"=1'-0"

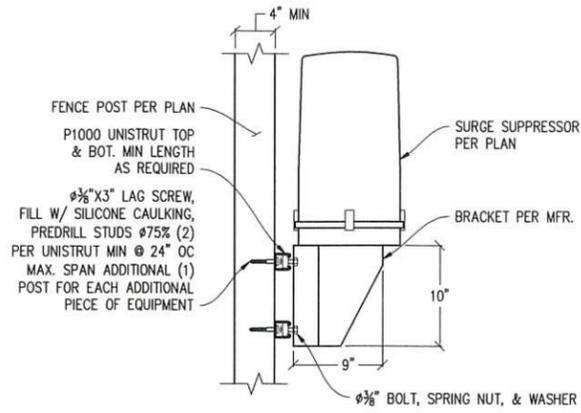
NOTE:
STRUCTURAL NOTES WILL
BE FINALIZED AFTER
APPROVAL OF CD 90%



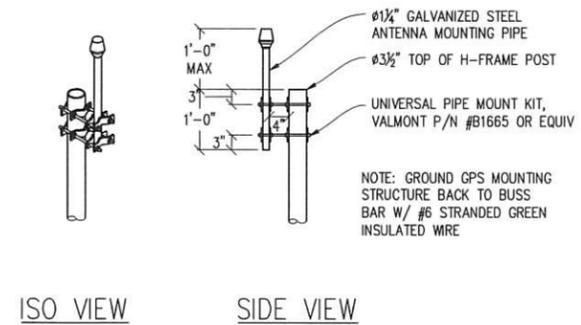
1 CABINET TO WF BEAM
1/2"=1'-0"



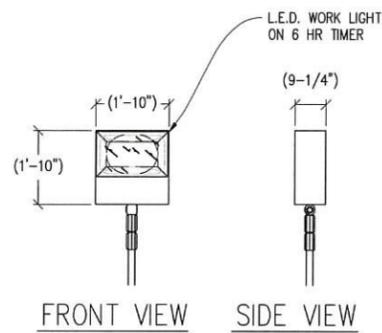
2 EQUIPMENT MOUNTING DETAIL
3"=1'-0"



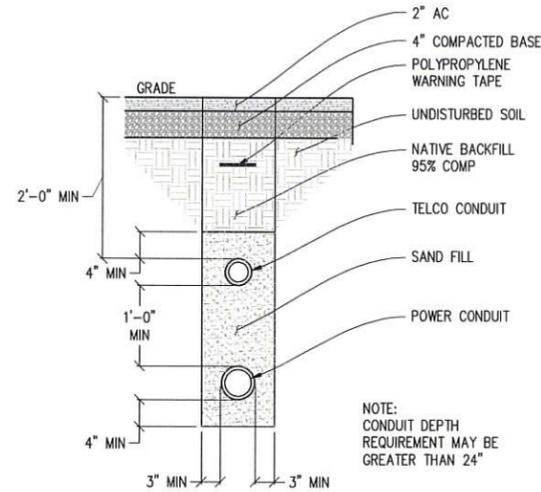
3 SURGE FENCE MOUNT DETAIL
1/2"=1'-0"



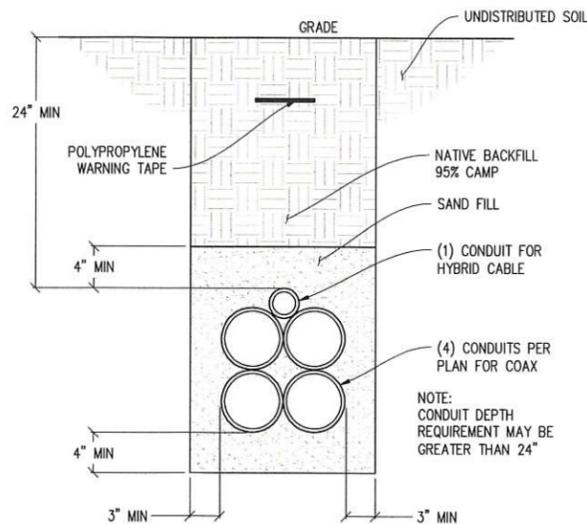
4 GPS MOUNT DETAIL
3/4"=1'-0"



5 TECH LIGHT DETAIL
1/2"=1'-0"



6 CONDUIT TRENCH DETAIL
1"=1'-0"



7 CONDUIT TRENCH DETAIL
1/2"=1'-0"

NOTE:
STRUCTURAL NOTES WILL
BE FINALIZED AFTER
APPROVAL OF CD 90%

CASTRO RANCH ROAD

193565
90 TAVASZI TERRACE
EL SOBRANTE, CA 94083

verizon

2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

Streamline Engineering and Design, Inc.

8445 Sierra College Blvd, Suite E Granite Bay, CA 95661
Contact: Kevin Sorenson Phone: 916-660-1930
E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

THESE PLANS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. NO PART OF THESE PLANS OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. Copyright © Streamline Engineering and Design, Inc. All Rights Reserved.

PRELIMINARY:
NOT FOR
CONSTRUCTION

KEVIN R. SORENSON
S4469

ISSUE STATUS			
Δ	DATE	DESCRIPTION	REV.
	10/24/19	CD 90%	J.S.
	10/29/19	CLIENT REV	D.G.
	12/02/19	CD 100%	Z.P.
	-	-	-
	-	-	-
	-	-	-

DRAWN BY: C. CODY
CHECKED BY: J. GRAY
APPROVED BY: -
DATE: 12/02/19

SHEET TITLE:
STRUCTURAL DETAILS
SHEET NUMBER:
S-4

CASTRO RANCH ROAD

193565
90 TAVASZI TERRACE
EL SOBRANTE, CA 94803

verizon

2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

Streamline Engineering and Design, Inc.

8445 Sierra College Blvd, Suite E Granite Bay, CA 95661
Contact: Kevin Sorensen Phone: 916-660-1930
E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

THIS PLAN AND SPECIFICATIONS ARE THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. AND SHALL REMAIN THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. ANY REUSE OR REPRODUCTION OF THIS PLAN OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE ENGINEER, COMPANY, OR INDIVIDUAL IS STRICTLY PROHIBITED.

PRELIMINARY:
NOT FOR
CONSTRUCTION

KEVIN R. SORENSEN
S4469

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	10/24/19	CD 90%	J.S.
	10/29/19	CLIENT REV	D.G.
	12/02/19	CD 100%	Z.P.
	-	-	-
	-	-	-
	-	-	-

DRAWN BY: C. CODY

CHECKED BY: J. GRAY

APPROVED BY: -

DATE: 12/02/19

SHEET TITLE:

ELECTRICAL PLAN

SHEET NUMBER:

E-1.1

ELECTRICAL LABELING REQUIREMENTS

- CONTRACTOR SHALL LABEL ALL ELECTRICAL DEVICES INSTALLED OR ALTERED PURSUANT TO THIS CONTRACT PER THE FOLLOWING. LABELS SHALL BE PERMANENT BLACK ON WHITE PEEL & STICK LABEL MAKER TYPE FOR ALL SWITCH & OUTLET PLATES, CONDUITS AND CEILING FIXTURES, AND SHALL BE PHENOLIC TAG TYPE FOR PANELS, XFMR'S, PULL BOXES, ETC.; PHENOLIC TAGS SHALL BE RED IN COLOR WHERE BACKED UP BY GENERATOR
- ALL PANELS, XFMR'S AND PULL BOXES SHALL BE LABELED WITH DEVICE 'NAME', VOLTAGE(S), RATING FOR XFMR'S, AND "FED FROM" DATA.
- ALL SWITCH & OUTLET PLATES SHALL BE LABELED WITH "FED FROM" CIRCUIT DATA (PANEL NAME & CIRCUIT#); ALL GANG SWITCHES SHALL BEAR SWITCH NUMBERS BEGINNING W/#1 ON LEFT OF THE MAIN LIGHTING SWITCH FOR EACH ROOM FOR COORDINATION W/FIXTURE LABELS.
- ALL (N) OR RETROFITTED LIGHTING FIXTURES SHALL BE LABELED WITH THE "FED FROM" DATA (SWITCH#)
- ALL CONDUITS EXITING A PANEL BOARD SHALL BE LABELED "CIRCUIT(S) 'X'..." WHERE X IS/ARE THE BREAKER(S). CONDUITS EXITING XFMR'S SHALL BE LABELED "FEEDER TO <PANEL, DEVICE>", E.G. "FEEDER TO PANEL <panel name>". CONDUITS ENTERING/EXITING A ROOM OR FLOOR SHALL BE LABELED AT THE ENTRY & EXIT (OR IN A SINGLE LOCATION IF OBVIOUS) W/"FED FROM..." & "TO PANEL/XFMR/...DATA".
- "FED FROM: DATA = <panel name> <brkr#> EG: "PANEL X/1,3,5"

ELECTRICAL LEGEND

- (MI) MECHANICAL INTERLOCK
- (M) METER
- ⊖ CIRCUIT BREAKER
- ⊕ SERVICE GROUND
- WIRED CONNECTION
- ⏏ TIMER SWITCH, WATERPROOF
- ⊙ OUTDOOR LIGHT
- ⊕ GFI OUTLET, WATERPROOF

ELECTRICAL NOTES

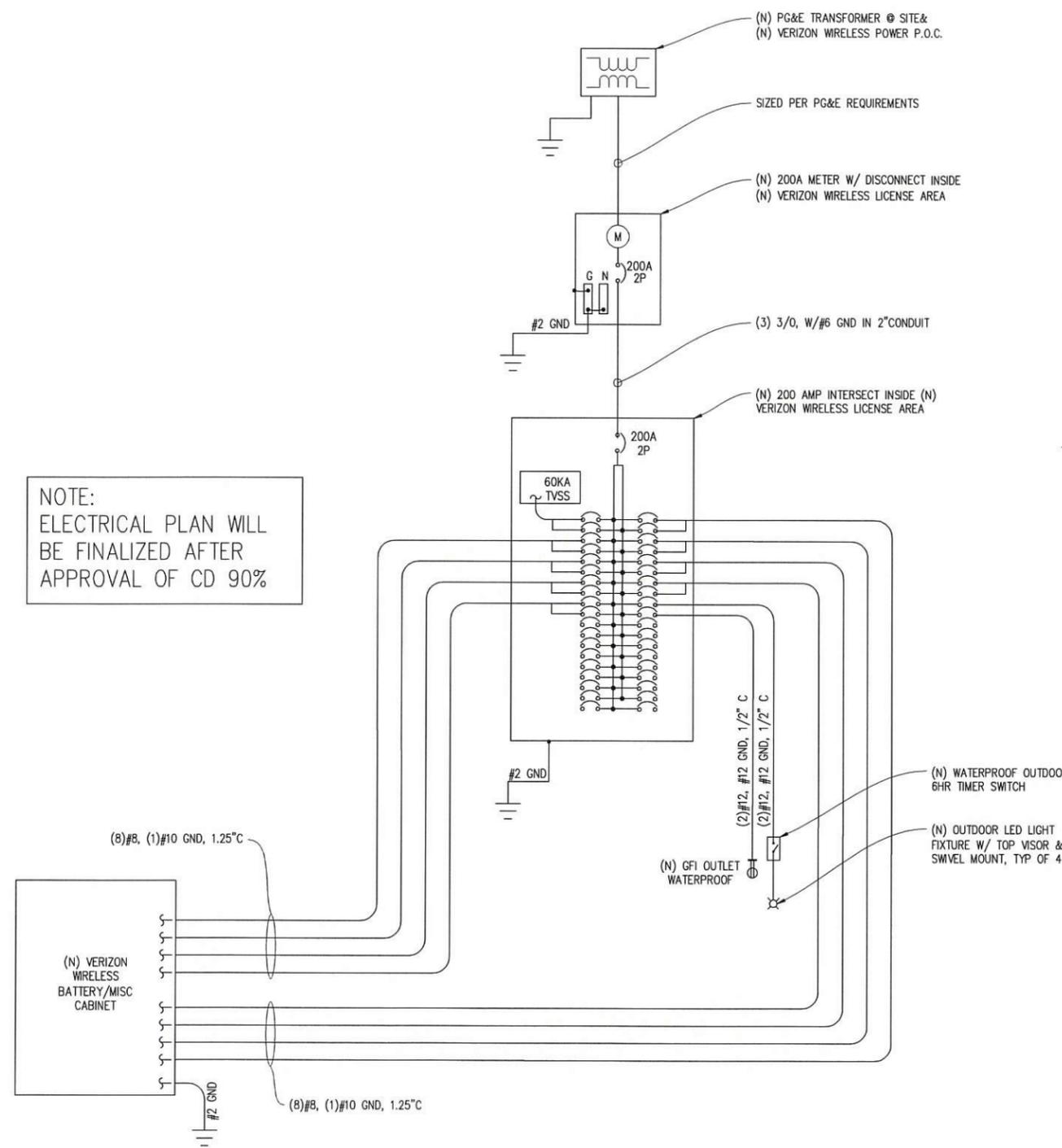
- ALL ELECTRICAL WORK SHALL CONFORM TO THE 2016 CEC AS WELL AS ALL ADOPTED STANDARDS, APPLICABLE STATE AND LOCAL CODES.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL CONDUIT, CONDUCTORS, PULL BOXES, TRANSFORMER PADS, POLE RISERS, AND PERFORM ALL TRENCHING AND BACKFILLING REQUIRED IN THE PLANS.
- ALL ELECTRICAL ITEMS SHALL BE U.L. APPROVED OR LISTED AND PROCURED PER PLAN SPECIFICATIONS.
- ALL CIRCUIT BREAKERS, FUSES, AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTION RATING NOT LESS THAN THE MAXIMUM SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED WITH A MINIMUM OF 10,000 A.I.C. OR AS REQUIRED.
- THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY ALL APPLICABLE CODES.
- ELECTRICAL WIRING SHALL BE COPPER #12 AWG MIN WITH TYPE THHN, THWN-2 OR THW-2, INSULATION RATED FOR 90°C DRY OR 70°C WET.
- ALL OUTDOOR EQUIPMENT SHALL HAVE NEMA 3R ENCLOSURE.
- ALL BURIED WIRE SHALL RUN THROUGH SCHEDULE 40 PVC CONDUIT UNLESS OTHERWISE NOTED.
- A GROUND WIRE IS TO BE PULLED IN ALL CONDUITS.
- WHERE ELECTRICAL WIRING OCCURS OUTSIDE A STRUCTURE AND HAS THE POTENTIAL FOR EXPOSURE TO WEATHER, WIRING SHALL BE IN WATERTIGHT GALVANIZED RIGID STEEL OR FLEXIBLE CONDUIT.
- WHERE PLANS CALL FOR A NEW ELECTRICAL SERVICE, PRIOR TO SUBMITTING BID, CONTRACTOR SHALL VERIFY PLAN DETAILS WITH THE UTILITY'S SERVICE PLAN & REQ'MTS INCLUDING SERVICE VOLTAGE, METER LOCATION, MAIN DISCONNECTING MEANS, AND AIC REQ'MT, AND SHALL OBTAIN CLARIFICATION FROM THE PROJECT ENGINEER ON ANY DEVIATIONS FOUND IN THESE PLANS.
- WHERE THESE PLANS SHOW A DC POWER PLANT, THE INSTALLATION OPERATING AT LESS THAN 50 VDC UNGROUNDED, 2-WIRE, SHALL COMPLY WITH ARTICLE 720, AS FOLLOWS:
 - POWER PLANT SHALL BE SUPPLIED BY THE WIRELESS CARRIER AS A PULL-TAG ITEM AND INSTALLED BY THE CONTRACTOR.
 - CONDUCTORS SHALL NOT BE SMALLER THAN #12 AWG COPPER MIN, CONDUCTORS FOR BRANCH CIRCUITS SUPPLYING MORE THAN ONE APPLIANCE SHALL BE 10 AWG CU MIN; CONTRACTOR SHALL SIZE CONDUCTORS BASED ON MFGR'S DATA FOR THE APPLIANCES SERVED.
 - THERE ARE NO DC RECEPTACLES OR LUMINARIES ALLOWED ON THIS PROJECT. ALL CIRCUITS SHALL ORIGINATE AT AN INTEGRATED DOUBLE LUG TAP OR SOCKET TERMINATION ON AN INTEGRATED DC CIRCUIT BREAKER AT AN INDIVIDUAL RECTIFIER MODULE AND TERMINATE AT THE SPECIALIZED LUG ON THE RESPECTIVE APPLIANCE AS A SINGLE RUN OF WIRE WITHOUT SPLICES. ALL DC WIRING SHALL BE LABELED AT THE DC PLANT WITH THE APPLIANCE SERVED AND THE DC VOLTAGE.
 - ALL CABLING SHALL BE INSTALLED IN A NEAT AND WORKMAN LIKE MANNER AND SUPPORTED BY BUILDING STRUCTURE, EG. (N) CABLE TRAY OVERHEAD, IN SUCH A MANNER THAT THE CABLE WILL NOT BE DAMAGED BY NORMAL USE.

At all services & grounding trenches, provide
"WARNING" tape at 12" below grade.

CALL
"CALL BEFORE YOU DIG"
811
NATIONWIDE UNDERGROUND SERVICE ALERT

NEW PANEL SCHEDULE

NAMEPLATE : VERIZON PANEL		SC LEVEL : 10,000		VOLTS: 120V/240V, 1Ø			
LOCATION : OUTSIDE				BUS AMPS: 200A			
MOUNTING : WOOD FENCE ○ EQUIPMENT				MAIN CB: 200A			
ØA	ØB	BKR AMP/POLE	CIRCUIT NO	BKR AMP/POLE	LOAD DESCRIPTION	LOAD VA	ØB
30		60/2	1 2	30/2	(N) DC POWER PLANT	2292	
	30	" "	3 4	" "	" "		2292
2292		30/2	5 6	30/2	" "	2292	
	2292	" "	7 8	" "	" "		2292
2292		30/2	9 10	30/2	" "	2292	
	2292	" "	11 12	" "	" "		2292
2292		30/2	13 14	30/2	" "	2292	
	2292	" "	15 16	" "	" "		2292
2292		30/2	17 18	15/1	TECH LIGHT	300	
	2292	" "	19 20	20/1	GFI RECEPTACLE		150
			21 22		BLANK		
			23 24		" "		
			25 26		" "		
			27 28		" "		
			29 30		" "		
			31 32		" "		
			33 34		" "		
			35 36		" "		
			37 38		" "		
			39 40		" "		
			41 42		" "		
9198	9198	PHASE TOTALS			PHASE TOTALS	9468	9318
TOTAL VA =	37182	TOTAL AMPS =		155			



SINGLE LINE DIAGRAM

CASTRO
RANCH
ROAD

193565
90 TAVASZI TERRACE
EL SOBRANTE, CA 94803

verizon

2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

**Streamline Engineering
and Design, Inc.**

8445 Sierra College Blvd, Suite E Granite Bay, CA 95661
Contact: Kevin Sorensen Phone: 916-860-1930
E-Mail: kevin@streamlineeng.com Fax: 916-860-1941

THESE PLANS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. NO PART OF THESE PLANS OR SPECIFICATIONS SHALL BE REPRODUCED OR USED IN ANY MANNER OR FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. Complete Soil Investigation Engineering and Design Inc. All Rights Reserved.

PRELIMINARY:
NOT FOR
CONSTRUCTION

KEVIN R. SORENSEN
S4469

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	10/24/19	CD 90%	J.S.
	10/29/19	CLIENT REV	D.G.
	12/02/19	CD 100%	Z.P.
	-	-	-
	-	-	-
	-	-	-

DRAWN BY: C. CODY

CHECKED BY: J. GRAY

APPROVED BY: -

DATE: 12/02/19

SHEET TITLE:

PG&E GROUND
GRID DESIGN

SHEET NUMBER:

E-2.1

**CASTRO
RANCH
ROAD**

193565
90 TAVASZI TERRACE
EL SOBRANTE, CA 94803



2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

Streamline Engineering
and Design Inc.

8445 Sierra College Blvd, Suite E Granite Bay, CA 95661
Contact: Kevin Sorensen Phone: 916-660-1930
E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

THESE PLANS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF STREAMLINE AND DESIGN INC. AND SHALL BE LOANED TO YOU FOR YOUR CONVENIENCE ONLY. YOU SHALL NOT REPRODUCE, COPY, DISTRIBUTE, OR MAKE ANY CHANGES TO THESE PLANS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. Copyright © 2008 STREAMLINE ENGINEERING AND DESIGN INC. ALL RIGHTS RESERVED.

PRELIMINARY:
NOT FOR
CONSTRUCTION

KEVIN R. SORENSEN
S4469

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	10/24/19	CD 90%	J.S.
	10/29/19	CLIENT REV	D.G.
	12/02/19	CD 100%	Z.P.
	-	-	-
	-	-	-
	-	-	-

DRAWN BY: C. CODY
CHECKED BY: J. GRAY
APPROVED BY: -
DATE: 12/02/19

SHEET TITLE:
PG&E GROUND
GRID DESIGN
SHEET NUMBER:
E-2.2

CONTRA COSTA COUNTY ZONING ADMINISTRATOR
MONDAY, JANUARY 6, 2020

30 MUIR ROAD
MARTINEZ, CA 94553

1:30 P.M.

NOTICE: The Zoning Administrator may alter the order of agenda items at the meeting.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in Zoning Administrator meetings. Please contact Hiliana Li at least 48 hours before the meeting at (925) 674-7792.

1. PUBLIC COMMENTS:
2. DEVELOPMENT PLAN: CONTINUED PUBLIC HEARING
 - 2a. ROD SCHLENKER C/O INSURANCE AUTO AUCTIONS, INC. (Applicant) - NGL SF BAY STORAGE & TRANSFER, LLC (Owner), County File #DP18-3005: A request for approval of a development plan to allow the expansion of an existing vehicle storage facility to allow the storage of an additional 1,236 theft recovered and damaged vehicles, with a deviation to the Bay Point P-1 Development Standards for no proposed landscaping (where 10% of the site is required to be landscaped). The request for approval also includes a tree permit for the removal of 39 code-protected trees ranging in size from 7" to 60" in diameter. The subject property is a 10.35-acre property located at 2770 Willow Pass Road in the Bay Point area. (Zoning: Planned Unit Development (P-1) District) (APN: 098-240-031) (Continued from 12/02/19 RH) GF Staff Report
 - 2b. HOWARD MCNENNY (Applicant) - MARY HANLEY (Owner), County File #DP19-3019: This is an application for a Kensington Design Review Development Plan to allow an approximately 326-square-foot two-story addition to the rear of an existing three-story single-family residence, including the replacement of an existing rear deck. The subject property is located at 120 St. Albans Road in the Kensington area. (Zoning: Single-Family Residential (R-6), Tree Obstruction of Views (-TOV), and Kensington (-K) Combining Districts) (APN: 572-124-006) (Continued from 12/16/19 AB) MM Staff Report
3. COMPLIANCE REVIEW: CONTINUED PUBLIC HEARING
 - 3a. CHARLES FARR (Applicant and Owner), County File #CV18-0060: This is a public hearing requested in response to a 1,000-yard notice of intent relating to grading permit application #BIG17-2781. The grading permit application is a request to grade 6,727 cubic yards of earth material to construct a driveway and a residential building pad on Parcel B of Minor Subdivision #MS90-141, which was approved September 9, 1997 for three parcels. The project site is located at 18311 Bollinger Canyon Road in the unincorporated San Ramon area. (Zoning: A-2 General Agricultural District) (APN: 199-030-066) (Continued from 12/16/19 TM) GK Staff Report
4. LAND USE PERMIT: PUBLIC HEARING
 - 4a. JEFF RASMUSSEN (Applicant) - EAST BAY REGIONAL PARKS DISTRICT (Owner), County File #LP18-2026: An application for a land use permit for the construction of a new 600-square-foot caretakers residence at the Vasco Caves Regional Preserve. The caretakers residence will replace an existing temporary mobile-home. The subject property is a 449 acre publicly-owned park property located along Byron Hot Springs Road in the Byron area. (Zoning: A-2) (General Plan: PR) (APN: 005-170-006) GF Staff Report

5. DEVELOPMENT PLAN: PUBLIC HEARING

- 5a. FLAVIO MORAIS (Applicant & Owner), County File #DP18-3034: A continued hearing for a request for approval of a Development Plan with a Small Lot Design Review to construct a new single-family residence that is approximately 1,450 square feet with an attached 300-square-foot garage on a vacant lot. The subject property is a vacant parcel located between 5995 and 6001 Dimm Way in the East Richmond Heights neighborhood. (Zoning: Single-Family Residential (R-6) (APN: 418-132-026) GF Staff Report

6. DEVELOPMENT AGREEMENT: PUBLIC HEARING

- 6a. DEVELOPMENT AGREEMENT ANNUAL REVIEW – SHAPPELL INDUSTRIES (Applicant and Owner), County File #AR19-0117: This is a public hearing on the Project Year 2019. Annual Review of the Shapell Industries Development Agreement dated April 8, 1996, by and between the County of Contra Costa and Shapell Industries relative to the Gale Ranch Development Agreement (Phases II-IV). The subject property consists of 973 acres located on both sides of Dougherty Road, east of the Country Club at Gale Ranch Project boundary and west of Alamo Creek, in the Dougherty Valley, San Ramon area. (P-1) (ZA:W-19, V-19) (CT 3551) (Parcel #206-040-002,-003,-004; 206-240-003,-010; 217-060-025; 206-080-010) TM Staff Report

7. SETTLEMENT AGREEMENT: PUBLIC HEARING

- 7a. SHAPPELL INDUSTRIES (Applicant and Owner), County File #SA19-0006: This is a public hearing on the Twenty-Fifth Annual Compliance Report for project year 2019, dated November 18, 2019, prepared and submitted by Shapell Industries to summarize its compliance with the (*Agreements to Settle Litigation Relating to the Dougherty Valley General Plan Amendment, Specific Plan, and Environmental Impact Report*), dated May 11, 1994, by and between Contra Costa County, the City of San Ramon, the Town of Danville, and Windemere BLC, LLC and Shapell Industries, Inc. relative to the development known as Dougherty Valley Specific Plan. TM Staff Report

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON WEDNESDAY, JANUARY 22, 2020.

Staff reports prepared for hearing items may be obtained by calling the Community Development Division at (925) 674-7792 or by visiting our office at 30 Muir Road, Martinez, California. Environmental Impact Reports have been prepared for each of the agenda items indicated by an asterisk (*).

Any disclosable public records related to an open session item on a regular meeting agenda and distributed by the Community Development Division to the Zoning Administrator less than 72 hours prior to that meeting are available for public inspection at the Community Development Division of the Department of Conservation and Development, 30 Muir Road, Martinez, California during normal business hours.

Recordings of this hearing are available for reviewing or copying purposes at the Community Development Division of the Department of Conservation and Development, 30 Muir Road, Martinez, California during normal business hours. We are open continuously from 7:30 a.m. to 5:00 p.m. Monday through Thursday and 7:30 a.m. to 4:00 p.m. on Friday. Advance arrangements may be made by calling (925) 674-7205.

COUNTY PLANNING COMMISSION
CONTRA COSTA COUNTY
WEDNESDAY, JANUARY 8, 2020
30 MUIR ROAD
MARTINEZ, CALIFORNIA 94553

CHAIR: Duane Steele
VICE-CHAIR: Rand Swenson
COMMISSIONERS: Richard Clark, Jeffrey Wright, Donna Allen, Kevin Van Buskirk, Bhupen Amin

NOTICE: Commission may change the order of items on the agenda at the beginning of the meeting.

No new items involving the opportunity for public hearing will be considered by the Commission after 10:00 P.M. unless specifically authorized by a unanimous vote of the Commission present. The Commission will adjourn at 10:30 P.M. unless there is a unanimous consent to continue. Items not heard may be rescheduled to the next meeting.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in County Planning Commission meetings. Please contact Hiliانا Li at least 48 hours before the meeting at (925) 674-7792.

**** 7:00 P.M.****

1. PUBLIC COMMENTS:
2. ELECTION OF OFFICER
 - 2a. The Commission will consider and may elect the officers of Chair and Vice Chair.
3. BOARD OF APPEALS: LAND USE PERMIT: PUBLIC HEARING
 - 3a. TIM & SCOTT PELLATON (Applicants and Appellants) - KARL & KAREN KOSTER (Owners), County File #LP16-2048: This is a continued public hearing for an appeal of the Zoning Administrator's June 19, 2017 decision to deny the application. The application is a request to modify Land Use Permit #LP10-2023 to remove or modify conditions of approval (COA) #'s 5, 25, 32, 33, 35, 36, and 46 citing reasons of infeasibility, financial hardship, and deprivation of property rights. The purpose of Land Use Permit #LP10-2023 was to legalize an existing recreational vehicle and boat storage facility. The item was continued as an open public hearing item to allow opportunity for the appellants and the Public Works Department to explore the proposed modifications further. The project site is located at 3510 Bixler Road in Byron, CA. (Zoning: A-3/-BS Heavy Agricultural District and Boat Storage Combining District) (APN: 011-200-050) GK Staff Report
4. STAFF REPORT:
5. COMMISSIONERS' COMMENTS:
6. COMMUNICATIONS:

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE ON WEDNESDAY, JANUARY 22, 2020.

Staff reports prepared for hearing items may be obtained by calling the Community Development Division at (925) 674-7205 or by visiting our office at 30 Muir Road, Martinez, California. Environmental Impact Reports have been prepared for each of the agenda items indicated by an asterisk (*).

Any disclosable public records related to an open session item on a regular meeting agenda and distributed by the Community Development Division to a majority of members of the County Planning Commission less than 96 hours prior to that meeting are available for public inspection at the Community Development Division of the Department of Conservation and Development, 30 Muir Road, Martinez, California during normal business hours.

Information about this hearing may be obtained online from the Contra Costa County website at <http://www.co.contra-costa.ca.us> under the Department of Conservation & Development's homepage, Commission and Committees and County Planning Commission. Recordings of this hearing are available for reviewing or copying purposes at the Community Development Division of the Department of Conservation and Development, 30 Muir Road, Martinez, California during normal business hours. We are open continuously from 7:30 a.m. to 5:00 p.m. Monday through Thursday and 7:30 a.m. to 4:00 p.m. on Friday. Advance arrangements may be made by calling (925) 674-7205.