



Planning Application
 Department of Conservation and Development
 Community Development Division
 30 Muir Road
 Martinez, CA 94553
 (925) 674-7200
 www.cccounty.us

PROJECT DATA
 Total Parcel Size: _____
 Proposed Number of Units: _____
 Proposed Square Footage: _____
 Estimated Project Value: _____

TYPE OF APPLICATION (Mark all that apply):

- | | | |
|---|---|---|
| <input type="checkbox"/> ACCESSORY DWELLING UNIT (ADU)/JUNIOR ADU | <input type="checkbox"/> GENERAL PLAN AMENDMENT/FEASIBILITY STUDY | <input type="checkbox"/> REZONING |
| <input type="checkbox"/> ADMINISTRATIVE REVIEW
(former Redevelopment Area) | <input checked="" type="checkbox"/> LAND USE PERMIT | <input type="checkbox"/> TREE PERMIT |
| <input type="checkbox"/> CERTIFICATE OF COMPLIANCE | <input type="checkbox"/> LOT LINE ADJUSTMENT | <input type="checkbox"/> VARIANCE |
| <input type="checkbox"/> COMPLIANCE REVIEW | <input type="checkbox"/> MAJOR <input type="checkbox"/> MINOR SUBDIVISION | <input type="checkbox"/> WIRELESS _____ |
| <input type="checkbox"/> DEVELOPMENT PLAN | <input type="checkbox"/> PLANNING CONSIDERATION | <input type="checkbox"/> OTHER _____ |

PROPERTY OWNER OR AGENT AUTHORIZATION

NAME: Dennis Wygal
 ADDRESS: 3503 Pacheco Blvd.
 CITY, STATE: Martinez CA ZIP: 94553
 PHONE #: 925-963-3176
 EMAIL: denniswygal@hotmail.com

APPLICANT (MAIN CONTACT INFORMATION)

NAME: George Miller
 ADDRESS: 1201 K St., Suite 920
 CITY, STATE: Sacramento, CA ZIP: 95814
 PHONE #: 831.917.2533
 EMAIL: lauren@goembarc.com

- I am the property owner and hereby authorize the filing of this application. Check here if billings are to be sent to applicant rather than owner.

SIGNATURE: [Signature]

SIGNATURE: [Signature]

Project Description:

Cannabis land use permit for dispensary

*******FOR OFFICE USE ONLY*******

Project Description:

The applicant requests approval of a Land Use Permit to establish a Cannabis dispensary within an existing building.

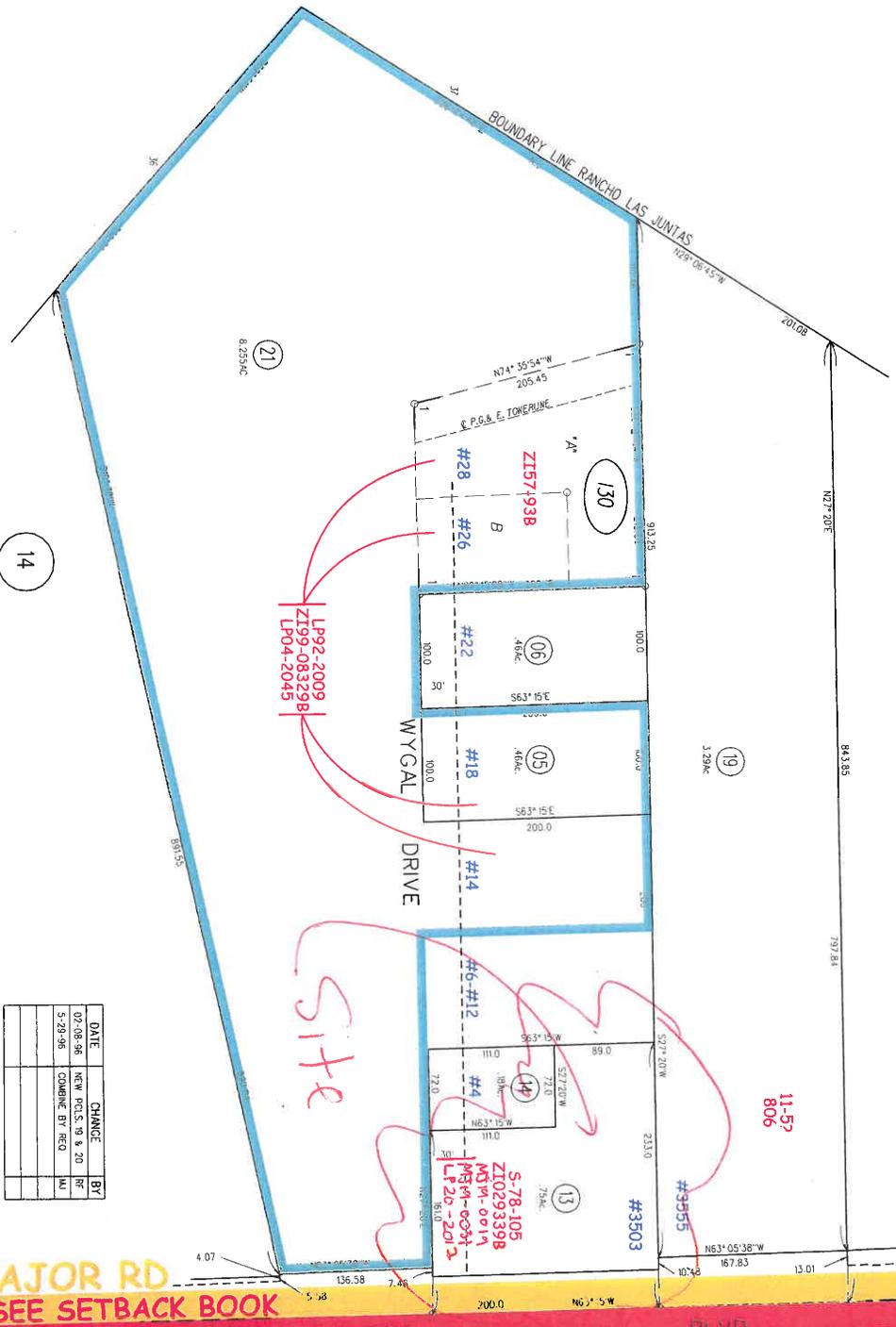
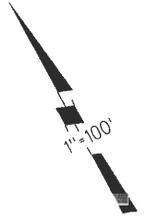
Property Description:

	TYPE OF FEE	FEE	CODE	ASSESSOR'S #:
Area: <u>Martinez</u>	*Base Fee/Deposit <u>DCD</u>	\$ 5,500	S-	<u>378-130-013</u>
Fire District: <u>Contra Costa Fire</u>	<u>PW</u>	\$ 2,000		Site Address: <u>3503 Pacheco Boulevard</u>
Sphere of Influence: <u>Martinez</u>	Late Filing Penalty (+50% of above if applicable)	\$	S-066	Zoning District: <u>C</u>
Flood Zone: <u>X</u>	½% Est. Value over \$100,000	\$	S-029	General Plan: <u>HI</u>
x-ref Files: <u>MJ19-0031</u>	#Units/Lots _____ x \$ _____ Sq. Ft. x \$ _____	\$	S-014	Census Tract: <u>32001</u>
	Notification Fee	\$15.00/\$30.00	S-052	Substandard Lot: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Fish & Game Posting (if not CEQA exempt)	\$75.00	S-048	Supervisory District: <u>5</u>
	Environmental Health Dept.	\$57.00	5884	Received By: <u>Syd Sotoadeh</u>
Concurrent Files:	TOTAL	\$ 7,662.00		Date Filed: <u>3/6/2020</u>
	*Additional fees based on time and materials will be charged if staff costs exceed base fee.			File #: <u>LP20-2017</u>

APPLICATION SUBMITTAL ON REVERSE

RANCHO LAS JUNTAS
 62 L.S.M. 20 4-19-77 LLA O.K. AS
 DETERMINED
 SEE 5793
 12-11-78 R.H.D.

14



DATE	CHANGE	BY
07-08-96	NEW P.C.S. 19 & 20	RF
5-23-96	COMBINE BY REQ.	ML

AMS
6-26-75

MAJOR RD
SEE SETBACK BOOK

PACHECO BLVD.

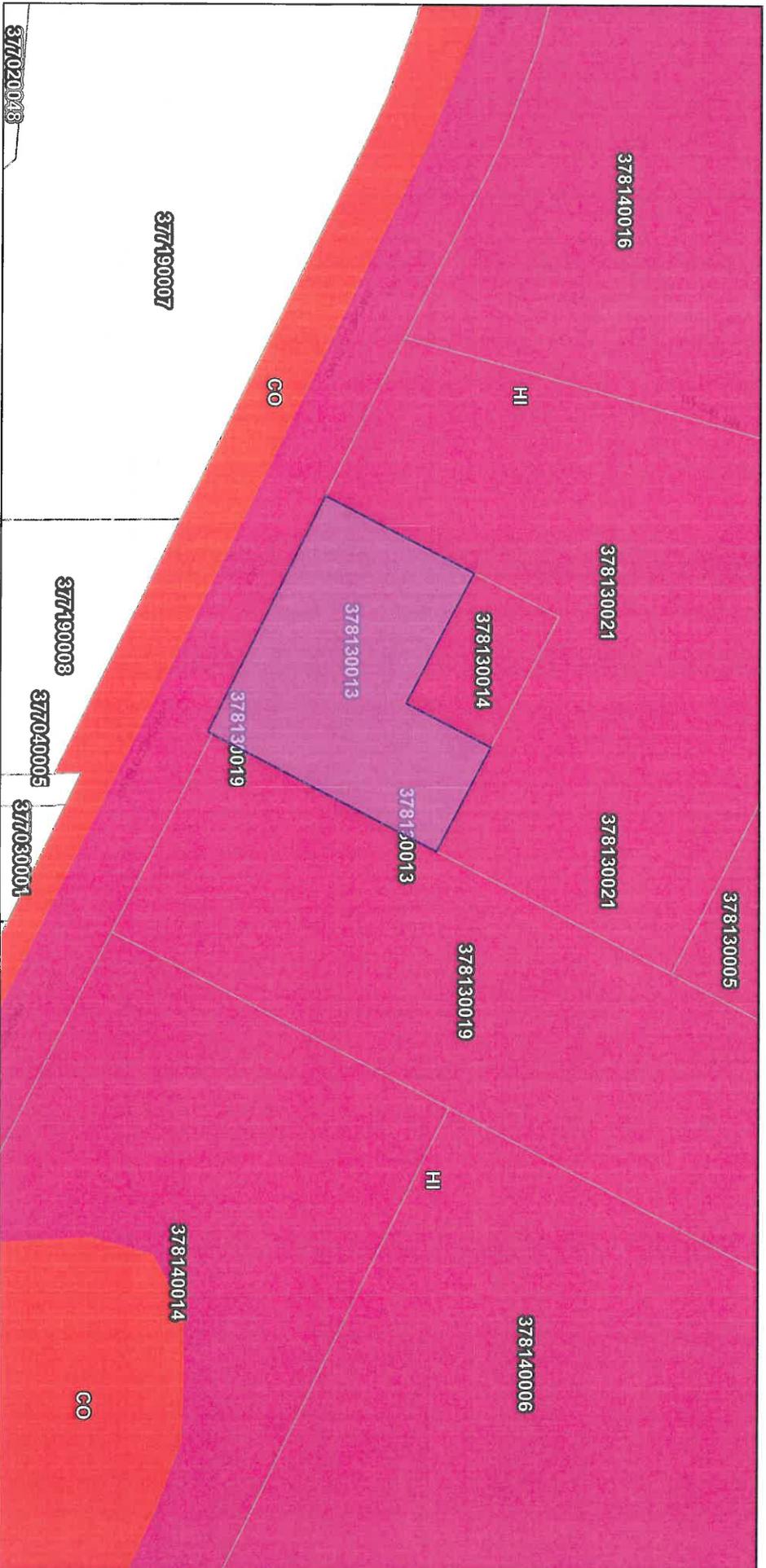
CT. 3200.01
CHECK FOR
FLOOD ZONE

CITY OF
MARTINEZ

P.B.
377

130
ZM: F-12
961 ROLL
ASSESSORS' MAP 8-24
BOOK 378 PAGE 13
CENTRA COSTA COUNTY, CALIF.
Downloaded on July 21, 2008

GENERAL PLAN: HI, HEAVY INDUSTRIAL



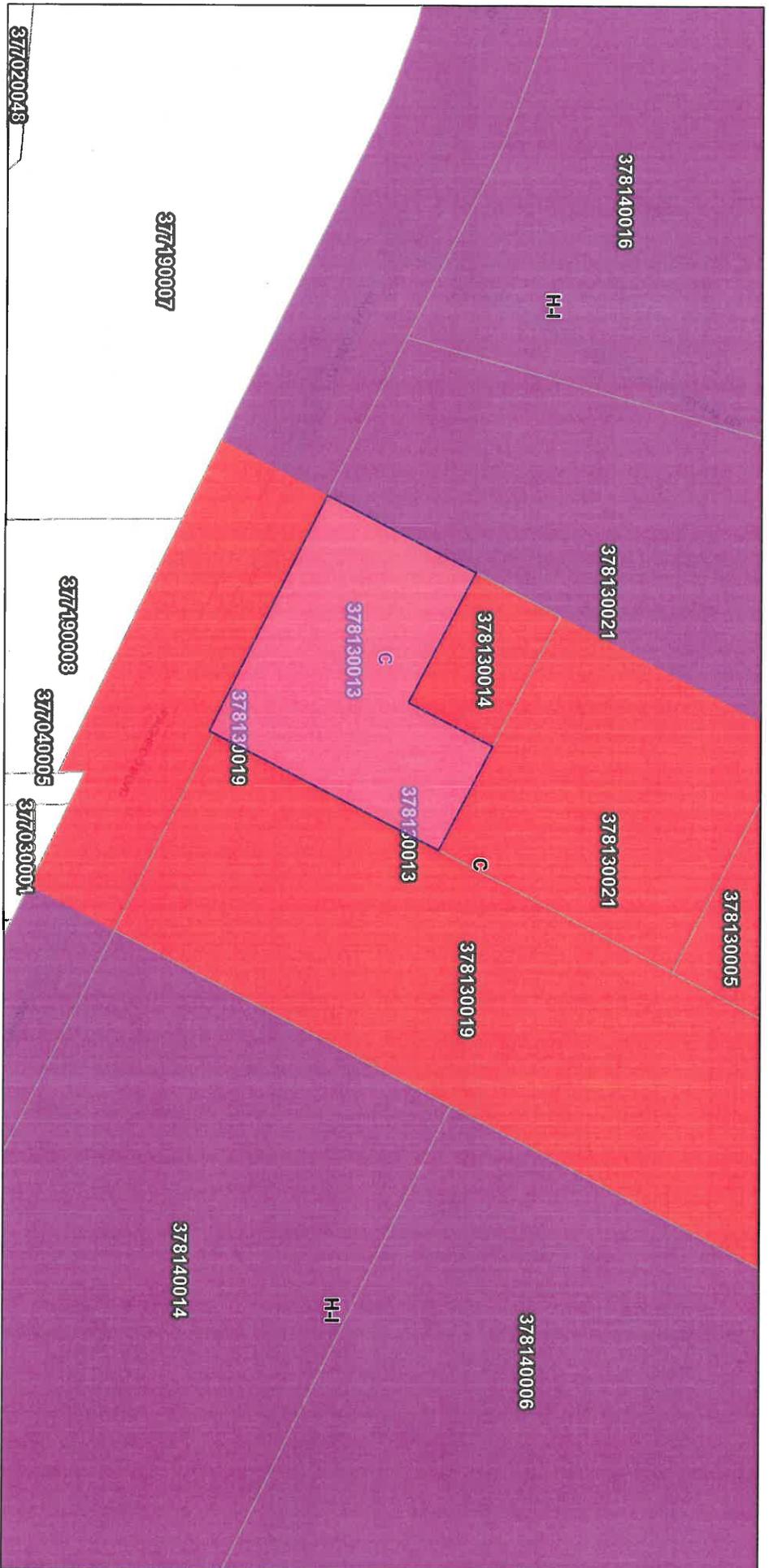
March 6, 2020

- General Plan**
- SV (Single Family - Very Low)
 - SL (Single Family - Low)
 - SM (Single Family - Medium)
 - SH (Single Family - High)
 - ML (Multiple Family - Low)
 - MM (Multiple Family - Medium)
 - MH (Multiple Family - High)
 - MV (Multiple Family - Very High)
 - MS (Multiple Family - Very High Special)
 - CC (Congregate Care Senior Housing)
 - MO (Mobile Home)
 - M-1 (Parker Avenue Mixed Use)
 - M-2 (Downtown Waterfront Rodeo Mixed Use)
 - M-3 (Pleasant Hill BART Mixed Use)
 - M-4 (Willow Pass Road Mixed Use)
 - M-5 (Willow Pass Road Commercial Mixed Use)
 - M-6 (Bay Point Residential Mixed Use)
 - M-7 (Pittsburg Bay Point BART Station Mixed Use)
 - M-8 (Dougherty Valley Village Center Mixed Use)
 - M-9 (Mountain Manor Mixed Use)
 - M-10 (Willow Pass Business Park Mixed Use)
 - M-11 (Appian Way Mixed Use)
 - M-12 (Triangle Ave Mixed Use)
 - M-13 (San Pablo Dam Road Mixed Use)
 - M-14 (Heritage Front Mixed Use)
 - M-15 (Saratop Village Mixed Use)
 - MU (Mixed Use)
 - CO (Commercial)
 - OF (Office)
 - BP (Business Park)
 - LI (Light Industry)
 - HI (Heavy Industry)

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, Geobase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), Swisstopo, Mapbox, and the GIS User Community

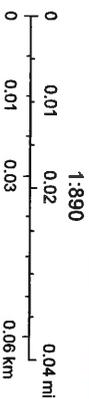
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ZONING: C



March 6, 2020

- Zoning Districts**
- R-6 (Single Family Residential)
 - R-6 -FH -UE (Flood Hazard and Animal Exclusion)
 - R-6 -SD-1 (Slope Density Hillside Development)
 - R-6 -TOV -K (Tree Obstruction and Kensington)
 - R-6 -UE (Urban Farm Animal Exclusion)
 - R-6 -X (Railroad Corridor Combining District)
 - R-7 (Single Family Residential)
 - R-7 -X (Railroad Corridor Combining District)
 - R-10 (Single Family Residential)
 - R-10, -UE (Urban Farm Animal Exclusion)
 - R-12 (Single Family Residential)
 - R-15 (Single Family Residential)
 - R-20 (Single Family Residential)
 - R-20, -UE (Urban Farm Animal Exclusion)
 - R-40 (Single Family Residential)
 - R-40, -FH -UE (Flood Hazard and Animal Exclusion)
 - R-40, -UE (Urban Farm Animal Exclusion)
 - R-65 (Single Family Residential)
 - R-100 (Single Family Residential)
 - D-1 (Two Family Residential)
 - D-1 -T (Transitional Combining District)
 - D-1, -UE (Urban Farm Animal Exclusion)
 - M-12 (Multiple Family Residential)
 - M-12 -FH (Flood Hazard Combining District)
 - M-17 (Multiple Family Residential)
 - M-29 (Multiple Family Residential)
 - F-R (Forestry Recreational)



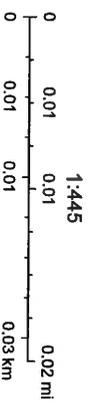
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, Geobase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

AERIAL VIEW



March 6, 2020

Parcels



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

PROJECT CONSTRUCTION NOTES

CONTRACTOR REQUIREMENTS:

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE PROJECT SITE AS DESCRIBED IN THE CONTRACT DOCUMENTS PRIOR TO STARTING CONSTRUCTION AND TO CROSS-CHECK DETAILS AND DIMENSIONS ON THE ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION. ALL TRADES SHALL VERIFY AT THE PROJECT SITE CONDITIONS AND MEASUREMENTS RELATED TO THEIR WORK AND COORDINATE THEIR WORK THROUGH THE GENERAL CONTRACTOR WITH ALL TRADES WORKING IN THE VICINITY OF THEIR WORK.

CONTRACTOR SHALL SUPERVISE AND DIRECT ALL THE WORK. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY AND CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND COORDINATION OF ALL PORTIONS OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT. SAFETY PRECAUTIONS AND PROGRAMS SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED ONLY TO NORMAL WORKING HOURS. THE CONTRACT DOCUMENTS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.

CONTRACTOR SHALL MAKE EVERY EFFORT TO MAINTAIN A CLEAN WORKPLACE, DUST POLLUTION AND PREVENTION OF DUST CONTAMINATION OF RELATED SPACE WILL BE THE RESPONSIBILITY OF THE CONTRACTOR ON ONGOING BASIS. ALL CONSTRUCTION AND DEMOLITION DEBRIS IS TO BE REMOVED DAILY AND DISPOSED OF IN A LEGAL MANNER.

CONTRACTOR SHALL PROVIDE ADEQUATE MEANS TO PROTECT FINISHED PARTS OF MATERIALS, EQUIPMENT AND FURNISHINGS AGAINST DAMAGE, FROM ANY CAUSE DURING THE PROGRESS OF THE WORK AND UNTIL ACCEPTANCE BY OWNER.

CONTRACTOR SHALL CONTACT THE OWNER 48 HOURS MINIMUM IN ADVANCE OF ANY RESTRICTION OF OWNER ACCESS OR UTILITY OUTAGES. AUTHORIZATION FROM THE OWNER SHALL BE RECEIVED IN WRITING.

CONTRACTOR SHALL PATCH AND REPAIR TO MATCH ADJACENT CONDITIONS AND DAMAGED AREAS BEHIND OR SURROUNDING ITEMS THAT ARE REMOVED. COORDINATE EXTENT OF ALL DEMOLITION WITH NEW WORK REQUIREMENTS. UNLESS NOTED OTHERWISE, DIMENSIONS TO EXISTING CONSTRUCTION ARE TO FACE OF FINISH AND DIMENSIONS TO NEW CONSTRUCTION ARE TO FACE OF STUD (OR STRUCTURE).

"PROVIDE" SHALL MEAN THAT THE CONTRACTOR AT HIS/HER EXPENSE, SHALL FURNISH AND INSTALL THE WORK COMPLETE IN PLACE AND READY FOR USE, INCLUDING FURNISHING OF NECESSARY LABOR, MATERIALS, TOOLS, EQUIPMENT AND TRANSPORTATION.

"EXISTING", "H.L.", "SIZE TO FIT" AND SIMILAR PHRASES REQUIRE THE CONTRACTOR TO VERIFY AND COORDINATE THE DIMENSION OR CONDITION INDICATED ON THE DRAWING WITH THE ACTUAL FIELD CONDITIONS). DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AT ONCE FOR DIRECTIONS ON HOW TO PROCEED. KEYNOTE AND DETAIL INDICATORS SHALL APPLY TYPICALLY TO ALL LIKE CONDITIONS ON THE DRAWINGS, WHETHER OR NOT "TYP" OR "TYPICAL" IS INDICATED OR NOT.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND ELEVATIONS PRIOR TO CONSTRUCTION THE ENGINEER AND ARCHITECT SHALL BE NOTIFIED IN WRITING OF ALL DISCREPANCIES, OMISSIONS, CONFLICTS, ETC. PRIOR TO CONSTRUCTION.

THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE ALL UNDERGROUND SERVICES TO THE WORK.

NO STRUCTURAL MEMBERS SHALL BE CUT, SPLICED, NOTCHED, PENETRATED OR OTHERWISE INTERRUPTED OR ALTERED WITHOUT THE ENGINEERS PRIOR WRITTEN APPROVAL.

ALL MATERIAL WORKMANSHIP AND CONSTRUCTION SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF THE UBC AT TIME OF FRAMING.

THE CONTRACTOR SHALL CONFIRM WITH ALL OSHA AND LOCAL REQUIREMENT PRIOR TO AND DURING EXCAVATIONS AND GENERAL CONSTRUCTION WHERE APPLICABLE INCLUDING BUT NOT LIMITED TO JOB SITE SAFETY AND OBTAINING PERMITS AND APPROVALS WHEN NECESSARY.

THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE JOBSITE SAFETY TO ALL PERSONS AND PROPERTY, INCLUDING BUT NOT LIMITED TO CONSTRUCTION PRACTICES AND PRECAUTIONS FOR THE SAFETY OF ALL DURING CONSTRUCTION. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE ENGINEER FREE AND HARMLESS FROM ALL CLAIMS, DEMANDS AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE ENGINEER.

THE CONTRACTOR SHALL BE REQUIRED TO CARRY PROPER INSURANCE AS REQUESTED BY THE CITY AND OWNER FOR THE INTENDED CONSTRUCTION. EVALUATION OF USAGE OF ALTERNATE MATERIALS, DESIGN CHANGES AND/OR CONSTRUCTION ALTERNATIVES WILL REQUIRE ADDITIONAL FEES FROM THE CONTRACTOR. THIS WILL INCLUDE ENGINEERING FEES AND BUILDING DEPARTMENT APPROVAL TIME/COST ALL EVALUATION REQUEST SHALL BE SUBMITTED IN WRITING FOR REVIEW PRIOR TO CONSTRUCTION.

OWNER, CO-OWNERS, PARTNERS, ENTITIES, CORPORATION, LLC, CONTRACTOR AND ITS SUBCONTRACTORS/AGENTS CANNOT HOLD THE ENGINEER OF RECORD AND ITS SUBCONSULTANTS LIABLE FOR ANY WORK NOT APPROVED OR PROVIDED BY THE ENGINEER OF RECORD. THE ENGINEER OF RECORD SHALL BE INDEMNIFIED FROM ANY HARMS OR SUITS FROM ALL PARTIES.

GENERAL REQUIREMENTS:

THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND ARE FOR USE SOLELY WITH THE RESPECT TO THIS PROJECT.

QUESTIONS RELATING TO THE WORK SHALL BE REFERRED TO THE ARCHITECT. THE ARCHITECT WILL RENDER INTERPRETATION NECESSARY FOR THE PROPER EXECUTION OR PROGRESS OF THE WORK WITH REASONABLE PROMPTNESS ON WRITTEN REQUEST OR EITHER THE OWNER OR THE CONTRACTOR.

ALL WORK SHALL COMPLY WITH THE LATEST CODES AND STANDARDS AS ADOPTED BY THE GOVERNING AUTHORITIES.

THE ARCHITECT AND ARCHITECTS CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO: ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB) OR OTHER TOXIC SUBSTANCES.

PRECONSTRUCTION REQUIREMENTS:

CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY CONDITIONS WITH THE CONTRACT DOCUMENTS BEFORE COMMENCING ACTIVITIES. THE CONTRACTOR SHALL COORDINATE ALL DIMENSIONS INSOFAR AS NECESSARY TO INSTALL THE WORK PROPERLY AND RELATIVE TO THE SURROUNDING CONSTRUCTION.

AT ANY TIME SHOULD CONDITIONS ARISE WHEREIN THE INTENT OF THE CONTRACT DOCUMENTS ARE IN CONFLICT WITH THEMSELVES OR WHERE THERE IS A DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS, THE ARCHITECT SHALL BE NOTIFIED AT ONE FOR WRITTEN CLARIFICATION.

CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION, AND SHALL TAKE ACTIONS TO PROTECT SAID UTILITIES, PERSONNEL AND PROPERTY AGAINST DAMAGE OR INJURY.

CONTRACTOR SHALL ARRANGE FOR IN ADVANCE WITH THE OWNER, CONSTRUCTION STORAGE AND STAGING AREAS NECESSARY TO COMPLETE WORK. ALL STORAGE AND STAGING AREAS SHALL BE RETURNED TO THE OWNER IN LIKE ORIGINAL CONDITION.

THE DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. ALL DRAWINGS ARE APPROXIMATE AND ARE GIVEN FOR ESTIMATION PURPOSES, BEFORE PROCEEDING WITH THE WORK, CONTRACTOR SHALL CAREFULLY CHECK AND CERTIFY ALL DIMENSIONS AND SIZES AND SHALL ASSUME RESPONSIBILITY FOR THE FITTING OF HIS/HER EQUIPMENT AND MATERIALS TO THE OTHER PARTS OF THE EQUIPMENT AND THE STRUCTURE.

GENERAL NOTES

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT THE WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE QUESTIONS REGARDING CONTRACT COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM ARCHITECT/OWNER BEFORE PROCEEDING WITH THE WORK IN QUESTION OR ANY RELATED WORK.

CONTRACTOR SHALL INFORM ARCHITECT/OWNER OF ANY CONFLICTS THAT EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR THE INSTALLATION AND MAINTENANCE OF ANY EQUIPMENT ARE PROVIDED PER MANUFACTURERS SPECS.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK MATERIAL IN ACCORDANCE WITH ALL LOCAL REGULATORY AGENCIES, APPLICABLE BUILDING CODES AND REQUIREMENTS.

THE CONTRACTOR SHALL UNDERCUT BUILDING STANDARD INTERIOR DOORS AS REQUIRED TO CLEAR FLOORING MATERIAL BY 1/4". ALL HEIGHTS ARE DIMENSIONED FROM TOP OF EXISTING SLAB UNLESS NOTED OTHERWISE "A.F.F." ABOVE FINISHED FLOOR.

CABINET CONTRACTOR TO SUBMIT SHOP DRAWINGS TO ARCHITECT/OWNER FOR APPROVAL PRIOR TO CONSTRUCTION AND FABRICATION.

DO NOT SCALE DRAWINGS NOTED DIMENSIONS TAKE PRECEDENCE. ANYONE USING THESE DRAWINGS SHOULD VERIFY ALL CRITICAL DIMENSIONS BY PHYSICALLY MEASURING EXISTING CONDITIONS.

NEW INTERIOR FINISHES MUST COMPLY WITH THE CURRENT EDITION OF C.B.C.

ALL DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME RETARDANT CONDITION.

DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILINGS, ATTICS, MANSARDS AND SIMILAR CONCEALED SPACES AND SHALL BE ABOVE AND INLINE WITH WALLS SEPARATING UNITS FROM EACH OTHER AND FROM OTHER USES.

SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAST 5.7 SQUARE FEET WITH THE MINIMUM OPENABLE WIDTH OF 20" AND A MINIMUM OPENABLE HEIGHT OF 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPENABLE FROM THE INSIDE TO PROVIDE A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS.

BUILDINGS OVER ONE STORY AND CONTAINING COURTS SHALL HAVE AN ASSUMED PROPERTY LINE FOR THE PURPOSE OF DETERMINING REQUIRED WALL AND OPENING PROTECTION OF COURT WALLS. (SEC 503.3)

WALL AND FLOORS SEPARATING DWELLING UNITS IN THE SAME BUILDING SHALL BE OF NOT LESS THAT ONE-HOUR FIRE-RESISTIVE CONSTRUCTION.

GUARDRAILS SHALL BE MIN. HEIGHT OF 42" (MIN. HEIGHT OF 36" IN INDIVIDUAL DWELLINGS) AND BE ABLE TO WITHSTAND 200 LB. POINT LOAD IN ANY DIRECTION.

OPENINGS GUARDRAILS SHALL BE LESS THAN 4". TRIANGULAR OPENINGS FORMED BY THE RAISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT A STAIR SHALL BE LESS THAN 8".

MECHANICAL / PLUMBING NOTES

- SHOWERS AND TUB/SOWER COMBINATIONS SHALL BE PROVIDED WITH MIXING VALVES PER CPC SEC. 420.0.
- EACH FAUCET SHALL NOT EXCEED A WATER FLOW RATE OF 2.2 GPM.
- EACH SHOWER HEAD SHALL NOT EXCEED A WATER FLOW RATE OF 2.5 GPM.
- EACH TOILET SHALL BE THE ULTRA LOW FLUSH TYPE.
- VACUUM BREAKERS SHALL BE PROVIDED AT ALL HOSE BIBBS.
- INSULATION MATERIAL SHALL MEET THE CALIFORNIA QUALITY STANDARDS PER ENERGY EFFICIENCY STANDARDS SEC. 118.
- DOORS AND WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER ENERGY EFFICIENCY STANDARDS SEC. 118.
- ALL PIPING AND DUCTWORK SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF ENERGY EFFICIENCY STANDARDS SEC. 118, 123, 124 AND CMC TABLE 6-D AS APPLICABLE.
- ALL HVAC EQUIPMENT AND APPLIANCES SHALL MEET THE REQUIREMENTS OF ENERGY EFFICIENCY STANDARDS SEC. 111, 115, 120-125 AS APPLICABLE.
- SERVIC WATER HEATING SYSTEMS AND EQUIPMENT SHALL COMPLY WITH ENERGY EFFICIENCY STANDARDS SEC. 113.
- BUILDING DRAIN AND VENT PIPING MATERIALS SHALL COMPLY WITH CPC SEC. 701.0.
- ALL SANITARY SYSTEM MATERIALS SHALL BE LISTED BY AN APPROVED LISTING AGENCY.
- CHEMICAL WASTE PIPING SHALL COMPLY WITH CPC SEC. 811.0.
- ALL STORAGE WATER HEATING EQUIPMENT SHALL BE PROVIDED WITH AN APPROVED LISTED EXPANSION TANK OR OTHER DEVICE DESIGNED FOR INTERMITTENT OPERATION FOR THERMAL EXPANSION CONTROL PER CPC SEC. 608.3.
- CROSS CONNECTION PROTECTION SHALL BE PROVIDED AT ALL POTABLE WATER SUPPLIED APPLIANCES AND EQUIPMENT EXCEPT THOSE SPECIFIC ITEMS LISTED IN INFORMATION BULLETIN 103.
- WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENTS DUE TO SEISMIC MOTION PER CPC SEC. 510.5.
- CHLORINATED POLYVINYL CHLORIDE (CPVC) SHALL NOT BE USED FOR INTERIOR WATER SUPPLY PIPING PER STATE HEALTH & SAFETY CODE SEC. 17821.19.
- HVAC EQUIPMENT AND WATER HEATERS SHALL COMPLY WITH CMC CHAP. 3.
- MEDIUM PRESSURE GAS PIPING SHALL BE LABELED EVERY FIVE FEET.
- MECHANICAL VENTILATION, WHEN REQUIRED IN RESIDENTIAL BATHROOMS AND LAUNDRY ROOMS AS APPLICABLE PER CBC SEC. 1203.3, SHALL PROVIDE A MINIMUM OF FIVE AIR CHANGES PER HOUR AND BE ROUTED TO THE EXTERIOR.

ADDITIONAL PLUMBING NOTES

- SEISMIC STRAPS REQUIRED AT WATER HEATER. ONE STRAP IS REQUIRED 1 AT THE UPPER 1/3 AND ONE STRAP REQUIRED AT THE LOWER OF THE 3 TANK.
- PERMANENT VACUUM BREAKERS SHALL BE INSTALLED WITH ALL NEW HOSE BIBBS.
- PROVIDE ULTRA-LOW FLUSH TOILETS, 1.28 GPM (MAX), AND MAXIMUM 1.5 GPM FLOW ON FAUCETS AT, LAV AND BAR SINKS; 1.8 GPM FOR KITCHENS.
- SHOWERHEADS TO HAVE MAXIMUM 2.0 GPM FLOW.
- IN SHOWERS AND TUB-SOWER COMBINATIONS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
- THAT THE MINIMUM EXHAUST RATE SHALL BE 50 CFM.

DEMOLITION NOTES

REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS.

WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER, THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.

REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC., SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT.

ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS TO WHICH THEY SOIL PRESSURE INCLUDING SURCHARGE, HYDROSTATIC HEAD AND IMPACT LOADS AS APPLICABLE.

PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINGSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, ETC. TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED, TO BE APPROVED BY OWNER.

PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATS OF SPECKLING, SANDED AND LEFT IN A PAINT READY CONDITION.

WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING WHEREVER POSSIBLE.

DESIGN CODE

THIS PROJECT SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING CODE WHICH INCLUDES THE, 2019 IBC, 2016 UPC, AND THE 2019 NEC AND TITLE 24 ENERGY.

2016 CALIFORNIA ADMINISTRATIVE CODE (CAC)

2019 CALIFORNIA BUILDING CODE (CBC)

2019 CALIFORNIA ELECTRICAL CODE (CEC)

2019 CALIFORNIA MECHANICAL CODE (CMC)

2016 CALIFORNIA PLUMBING CODE (CPC)

FIRE PROTECTION NOTES

- UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CFC ARTICLE 87
- AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A-10B-C SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 6,000 SQUARE FEET OR PORTION THEREOF ON EACH FLOOR(CFC SECT. 1002, UFC STANDARD 10-1, CALIF. CODE OF REGS, TITLE 19, SECT.3.29)
- COMPLETE PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS, FIRE EXTINGUISHING SYSTEMS, INCLUDING AUTOMATIC SPRINKLERS AND OTHER FIRE PROTECTION SYSTEMS SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
- PLANS FOR ALL FIXED FIRE PROTECTION EQUIPMENT SUCH AS STANDPIPES, SPRINKLER SYSTEMS AND FIRE ALARM SYSTEMS, MUST BE SUBMITTED TO, AND APPROVED BY, THE FIRE PREVENTION BUREAU BEFORE THIS EQUIPMENT IS INSTALLED.
- FIRE AND/OR SMOKE DAMPER ASSEMBLIES, INCLUDING SLEEVES, AND INSTALLATION PROCEDURES SHALL BE APPROVED BY THE BUILDING INSPECTOR PRIOR TO INSTALLATION
- ALL VALVES CONTROLLING THE WATER SUPPLY FOR AUTOMATIC SPRINKLER SYSTEMS AND WATER FLOW SWITCHES ON ALL SPRINKLER SYSTEMS SHALL BE ELECTRICALLY MONITORED WHERE THE NUMBER OF SPRINKLERS IS 100 OR MORE [CBC 904.3.1, CFC 1003.3.1]
- ADDRESS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION, [CAL. CODE OF REGS.' TITLE 19, 3, 08, 3.21, CFC 2501.5]
- "COMPLETE PLANS AND SPECIFICATIONS FOR ALL FIRE EXTINGUISHING SYSTEMS, INCLUDING AUTOMATIC SPRINKLERS AND STANDPIPE SYSTEM AND OTHER SPECIAL FIRE EXTINGUISHING SYSTEM AND RELATED APPURTENANCES SHALL BE SUBMITTED TO THE CITY OF SAN DIEGO FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION".
- "LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH CFC 906 AND CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 19".
- "DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEEDS, IN LOCATIONS WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC SECTION 3315.1".
- "BUILDINGS UNDERGOING CONSTRUCTION, ALTERATIONS, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33, WELDING, CUTTING, AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35".
- "ADDRESS IDENTIFICATIONS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A LOCATION THAT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, WHERE ACCESS IS BY WAY OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, AND APPROVED SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. PREMISES IDENTIFICATION SHALL CONFORM TO CBC CHAPTER 501.2".
- "WALL, FLOOR AND CEILING FINISHES AND MATERIALS SHALL NOT EXCEED THE INTERIOR FINISH CLASSIFICATIONS IN CBC TABLE 803.9 AND SHALL MET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 19 DIVISION 1. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHALL WITH APPROPRIATE DOCUMENTATION PROVIDED TO THE CITY OF SAN DIEGO".
- "DUMPSTERS AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY APPROVED SPRINKLERS SYSTEM OR LOCATED IN A TYPE I OR II STRUCTURE SEPARATION BY 10 FEET FROM OTHER STRUCTURES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE OF NON-OR LIMITED-COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED OR SEPARATED. CFC 304.3".
- "EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS, FIRE EXTINGUISHER LOCATIONS, AND STANDPIPE CONNECTIONS SHALL NOT BE CONCEALED BY CURTAINS, MIRROR, OR OTHER DECORATIVE MATERIAL".
- "OPEN FLAMES, FIRE AND BURNING ON ALL PREMISES IS PROHIBITED EXCEPT AS SPECIFICALLY PERMITTED BY THE CITY OF SAN DIEGO AND CFC 308".
- "THE EGRESS PATH SHALL REMAIN FREE AND CLEAR OF ALL OBSTRUCTIONS AT ALL TIMES. NO STORAGE IS PERMITTED IN ANY EGRESS PATHS".

-A MINIMUM OF 65% OF CONSTRUCTION WASTE IS TO BE RECYCLED. (CGC 4.408.1)

-THE CR&C CITY CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN TO THE JURISDICTION AGENCY THAT REGULATES WASTE MANAGEMENT, PER CGC 4.408.2

-THE BUILDER IS TO PROVIDE AN OPERATION MANUAL FOR (CONTAINING INFORMATION FOR MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT THE TIME OF FINAL INSPECTION. (CGC 4.410.1)

-DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED. (CGC 4.504.1)

-VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3 AND 4.504.3 FOR: ADHESIVES, PAINTS AND COATINGS, CARPET AND CARPET ADHESION WOOD PRODUCTS. (4.504.2)

-CONCRETE SLABS WILL BE PROVIDED WITH A CAPILLARY BREAK. (CGC 4.504.2.1)

-THE MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED IN SECTION 4.505.3.

-BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT ME BE DETERMINED BY THE CONTRACTOR BY ONE OF THE METHODS LISTED IN CGC 4.505.3.

-BATHROOM FANS SHALL BE ENERGY STAR RATED, VENTED DIRECTLY TO THE OUTSIDE AND CONTROLLED BY A HUMIDISTAT. (CGC 4.506.1)

-PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST COMPLETE AND SIGN THE CERTIFICATION CHECKLIST AND THE CERTIFICATION MUST BE GIVEN THE BUILDING OFFICIAL AND FILED WITH THE APPROVED PLANS".

PROJECT INFORMATION

PROJECT ADDRESS: 3503 Pacheco Boulevard, Martinez, CA 94553

ASSESSOR'S PARCEL NUMBER:

CONSTRUCTION TYPE: V-B

AUTOMATIC FIRE SPRINKLERS: YES

ZONING DISTRICT:

PARCEL SIZE:

BUILDING AREA: 2,454 SF

AREA OF SCOPE OF WORK: 8,617 SF

EXISTING USE: OFFICES

LEGAL DESCRIPTION:

2012-02-20

2020 MAR-9-9 PM 12

CONTRA COSTA COUNTY

SHEET INDEX

Sheet Number	Sheet Name
A0	GENERAL NOTES
A1	SITE PLAN
A2	EXISTING FLOOR PLAN & DEMO PLAN
A3	PROPOSED FLOOR PLAN
A4	ELEVATIONS
A5	ELEVATIONS
A6	SECTIONS
A7	PROPOSED RENDERING

SCOPE OF WORK

Total existing square footage = 8,617 SF

Demolition of existing building = 3,450 SF

Proposed square footage to be renovated and rehabbed = 2,713 SF

VICINITY MAP

SCALE: 1" = 100'

Issue Date

DATE REVISIONS BY

CONCORDE ENTERPRISES (DESIGN/ENGINEERING) SERVING ALL OF CALIFORNIA 3505 CAMINO DEL RIO SOUTH #332 SAN DIEGO, CA 92108 PH: (619) 248-9574 CONCORDECONSULT@aol.com

The contractor shall verify and be responsible for all dimensions and conditions on the job and this office must be notified in writing of any variation from the dimensions and conditions shown by these drawings.

PREPARED FOR: Embarcadero Costa 3503 Pacheco Boulevard, Martinez, CA 94553

SHEET TITLE: GENERAL NOTES

SCALE: 1" = 100'

DRAWN BY: Author

CHECKED BY: Checker

START DATE: Issue Date

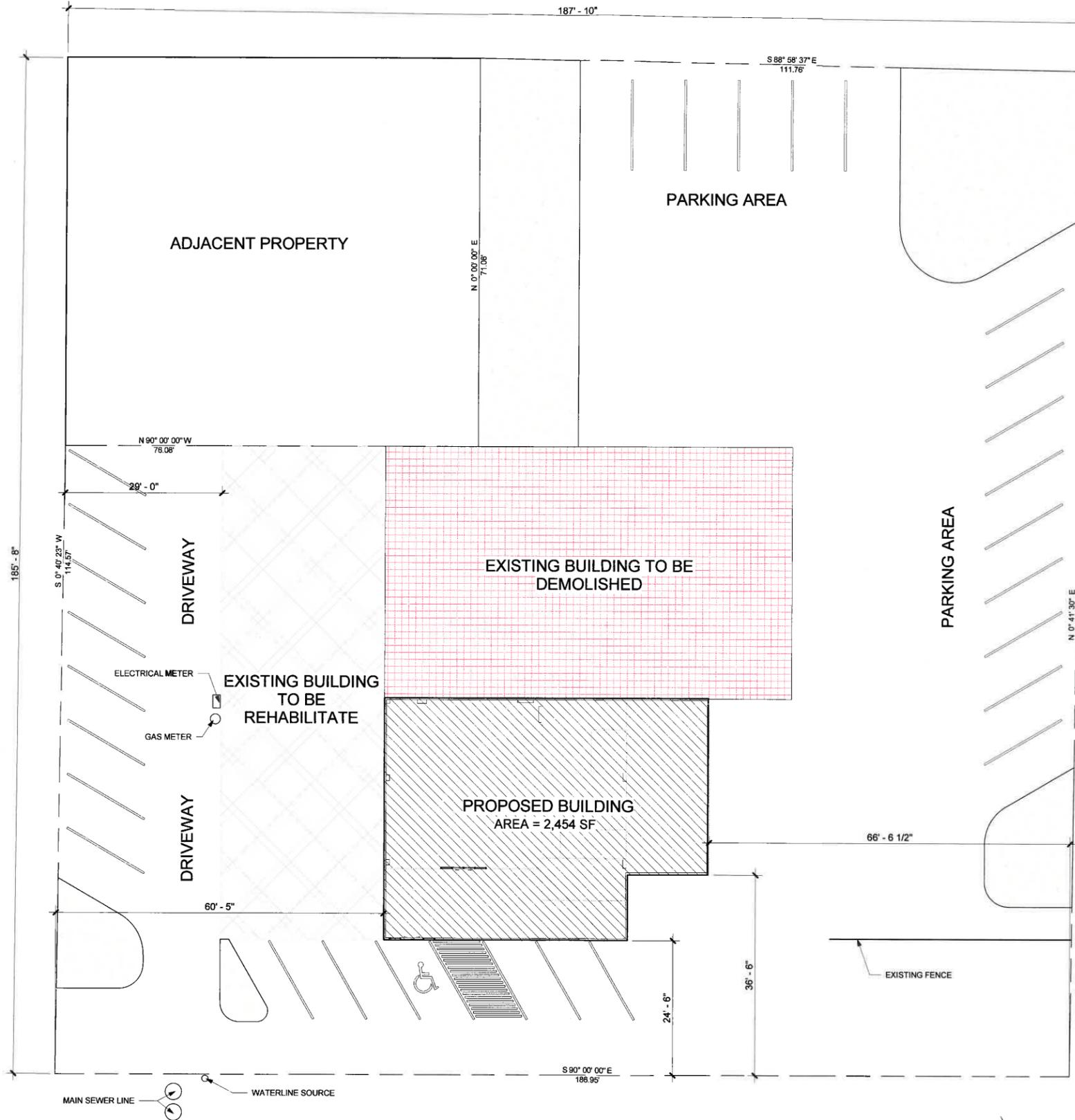
JOB NO: Project Number

SHEET NUMBER: A0

CONSTRUCTION BMP GENERAL NOTES:

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSONS AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCL) CONSTRUCTION LEVEL BMPs AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMPs.
2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION.
3. ALL CONSTRUCTION BMP SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPs AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCL WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.
6. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD OF AFFECTED AND ADJACENT STREETS AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLE/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRET RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPs THAT ARE ACCEPTABLE TO THE RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCL.
8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
9. IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO THE RESUMING CONSTRUCTION ACTIVITY, ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON-SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPs WHEN RAIN IS IMMINENT.
11. THE CONTRACTOR SHALL RESPOND AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPs TO WORKING ORDER YEAR ROUND.
12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITIONS.
14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCL SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.
15. AS NECESSARY, THE RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPs RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
16. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMPs DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPs SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPs AS SOON AS POSSIBLE AS SAFETY ALLOWS.
17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY PASSING THE ENTRANCE.
- (g) NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM MANAGEMENT AND DISCHARGE CONTROL".



1 Site
3/32" = 1'-0"

PACHECO BLVD

LEGEND:

- PROPOSED BUILDING
- EXISTING BUILDING TO BE REHABILITATE
- EXISTING BUILDING TO BE DEMOLISHED

I AM THE DESIGNER/OWNER IN RESPONSIBLE CHARGE OF THIS TENANT IMPROVEMENT PROJECT. I HAVE INSPECTED THE SITE/PREMISES AND DETERMINED THAT EXISTING CONDITIONS ARE IN FULL COMPLIANCE WITH CURRENT SITE ACCESSIBILITY REQUIREMENTS TO THE EXTENT REQUIRED BY LAW

PRINT NAME

SIGNATURE

I AM THE DESIGNER/OWNER IN RESPONSIBLE CHARGE OF THIS TENANT IMPROVEMENT PROJECT. I HAVE INSPECTED THE TOILET AND BATHING FACILITIES FOR MEN AND WOMEN, AND DETERMINED THAT EXISTING CONDITIONS ARE IN FULL COMPLIANCE WITH CURRENT ACCESSIBILITY REQUIREMENTS TO THE EXTENT REQUIRED BY LAW.

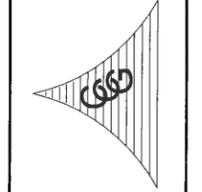
PRINT NAME

SIGNATURE

IF THE CITY BUILDING INSPECTOR DETERMINES NON-COMPLIANCE WITH ANY ACCESSIBILITY PROVISIONS, A COMPLETE AND DETAILED REVISED PLANS CLEARLY SHOWING ALL EXISTING NON-COMPLYING CONDITIONS AND THE PROPOSED MODIFICATIONS TO MEET CURRENT ACCESSIBILITY REQUIREMENTS (INCLUDING SITE PLAN, FLOOR PLANS, DETAILS, ETC.) WILL BE SUBMITTED TO THE DEPARTMENT FOR REVIEW AND APPROVAL.

Issue Date			
#	DATE	REVISIONS	BY

CONCORDE ENTERPRISES
(DESIGN/ENGINEERING)
SERVING ALL OF CALIFORNIA
3505 CAMINO DEL RIO SOUTH #332
SAN DIEGO, CA 92108
PH: (619) 248-9874
CONCORDECONSULT2@AOL.COM



The contractor shall verify and be responsible for all dimensions and conditions on the job and this office must be notified in writing of any variation from the dimensions and conditions shown by these drawings.

PREPARED FOR:
Embarc Contra Costa 3503 Pacheco Boulevard, Martinez, CA 94553

SHEET TITLE
SITE PLAN

SCALE **3/32" = 1'-0"**
DRAWN BY **Author**
CHECKED BY **Checker**
START DATE **Issue Date**
JOB NO. **Project Number**

SHEET NUMBER
A1

PLANT LIST

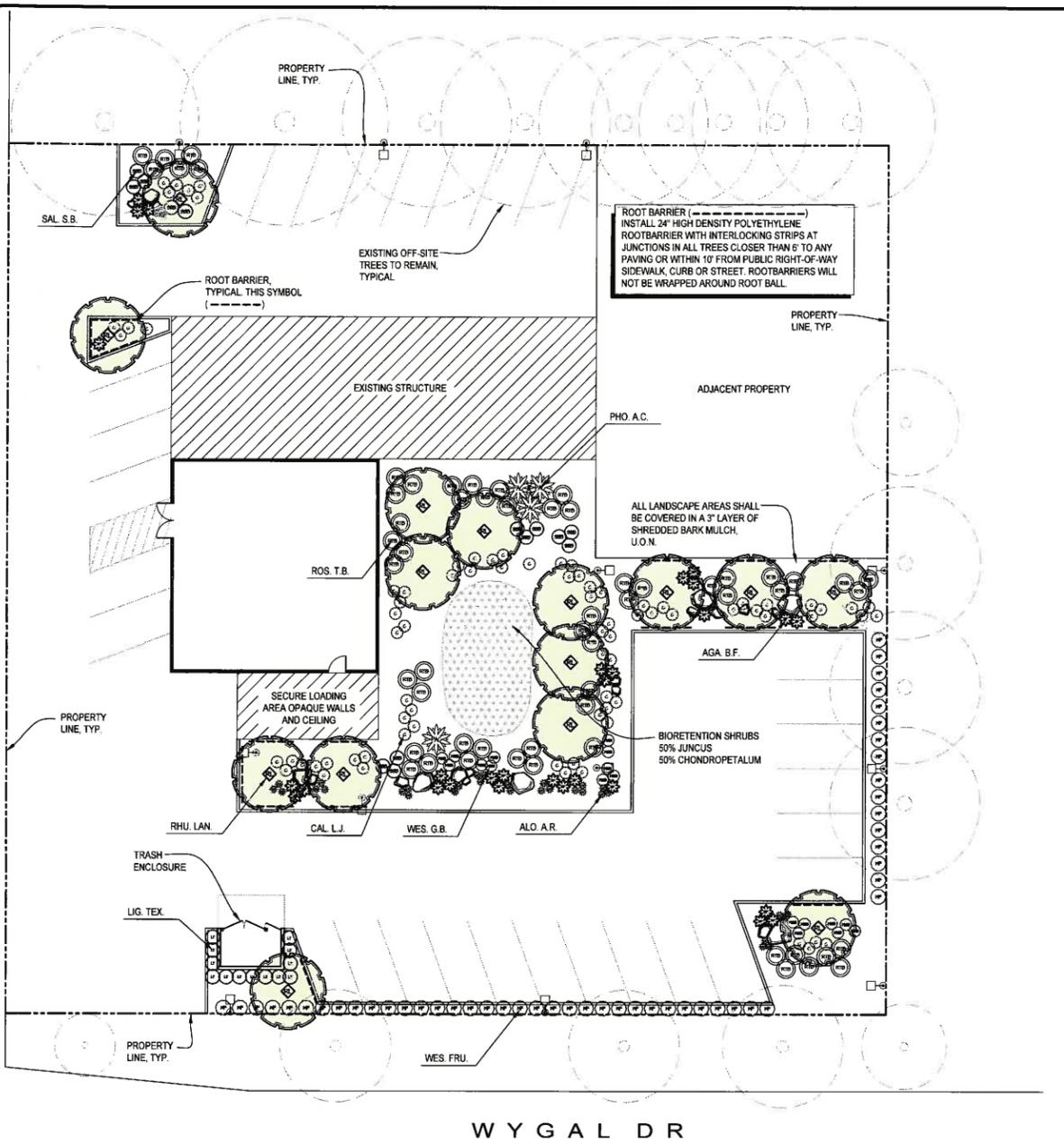
ABBR	SIZE	QTY	SCIENTIFIC NAME	COMMON NAME
TREES				
RHU.LAN	24" BOX	15	RHUS LANCEA	AFRICAN SUMAC
SHRUBS				
AGA.B.F.	5 GAL	29	AGAVE 'BLUE FLAME'	BLUE FLAME AGAVE
ALO.A.R.	5 GAL	34	ALOE 'ALWAYS RED'	ALWAYS RED ALOE
CAL.L.J.	5 GAL	81	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLE BRUSH
LIG.TEX.	5 GAL	13	LIGUSTRUM JAPONICUM TEXANUM	TEXAS PRIVET
PHO.A.C.	5 GAL	4	PHORMIUM TENAX 'ATROPURPUREUM COMPACTUM'	PURPLE NEW ZEALAND FLAX
ROS.T.B.	5 GAL	59	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'	UPRIGHT ROSEMARY
SAL.S.B.	5 GAL	14	SALVIA SANTA BARBARA	SANTA BARBARA SAGE
WES.FRU.	5 GAL	50	WESTRINGIA FRUTICOSA	COAST ROSEMARY
WES.G.B.	5 GAL	18	WESTRINGIA FRUTICOSA 'GREY BOX'	DWARF COAST ROSEMARY
BIORETENTION SHRUBS				
CHO.TEC.	5 GAL	30" O.C.	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH
JUN.PAT.	1 GAL	18" O.C.	JUNCUS PATENS	CALIFORNIA GRAY RUSH

PLANTING NOTES

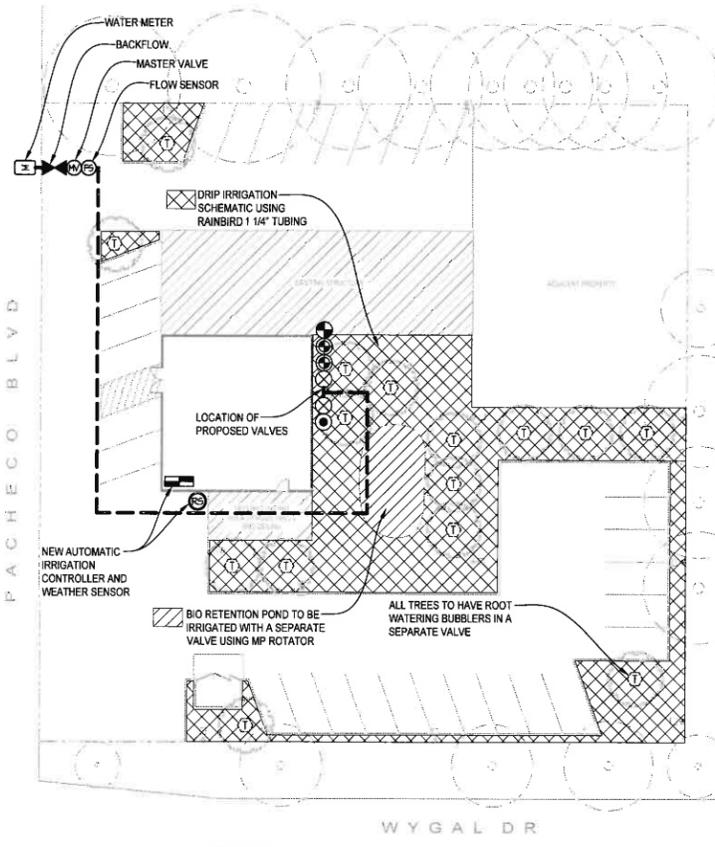
A SOIL TEST SHALL BE MADE BY LANDSCAPE CONTRACTOR PRIOR TO THE BEGINNING OF WORK AND THE RECOMMENDATIONS MUST BE USED FOR INSTALLATION. AN IRRIGATION AUDIT REPORT MAY BE REQUIRED BY THE CITY PRIOR TO CERTIFICATE OF OCCUPANCY. IF A CERTIFICATE OF COMPLETION IS REQUIRED BY THE CITY, PLEASE NOTIFY LANDSCAPE ARCHITECT 48 HOURS BEFORE INSPECTION.

THE CONTRACTOR SHALL ENSURE THAT ALL PLANTS RECEIVE SUPERTHRIVE VITAMIN SOLUTION AT TIME OF INSTALLATION

- LANDSCAPE CONTRACTOR SHALL RECEIVE THE SITE WITHIN PLUS OR MINUS .10 FEET OF FINISH GRADE.
- THE PLANTING PLANS ARE DIAGRAMMATIC. MINOR ADJUSTMENTS IN PLANT LOCATIONS AND TYPE MAY BE MADE AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO BE ADVISED THAT CERTAIN CULTIVARS OR SPECIES OF PLANTS FOR THIS PROJECT MAY ONLY BE AVAILABLE THROUGH RETAIL SOURCES (IE: PATIENED MONROVIA SELECTIONS). CONTRACTOR IS FURTHER ADVISED THAT ALL PLANT MATERIAL FOR THIS PROJECT SHALL BE "PREMIUM" NURSERY STOCK.
- ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND REPLACED UPON REQUEST BEFORE OR AFTER THE PLANTING.
- THE LANDSCAPE CONTRACTOR WILL COORDINATE HIS WORK WITH THE OTHER TRADES AND MAINTAIN DRAINAGE DURING CONSTRUCTION.
- PLANT QUANTITIES AND AREAS SHOWN ON LEGENDS ARE FOR CONTRACTORS' CONVENIENCE IN ESTIMATING ONLY. CONTRACTOR IS RESPONSIBLE FOR PROVIDING PLANT MATERIALS TO COVER ALL AREAS AS SHOWN ON PLANS.
- SLOPE ALL PLANTING AREAS AWAY FROM BUILDING AT 2% MINIMUM FOR 5 FEET MINIMUM, WHERE APPLICABLE.
- LANDSCAPE ARCHITECT SHALL APPROVE FINAL PLACEMENT OF ALL TREES, SHRUBS, AND VINES PRIOR TO PLANTING.
- TREE AND SHRUB PITS 5 GALLONS AND SMALLER SHALL BE TWO TIMES ROOTBALL DIAMETER WIDE AND 1-1/2 TIMES CONTAINER DEPTH.
- TREE AND SHRUB PITS 15 GALLONS AND LARGER SHALL BE TWO TIMES ROOTBALL DIAMETER WIDE AND 1" LESS THAN CONTAINER DEPTH.
- TREE STAKING SHALL BE DONE ONLY IF ESSENTIAL AND REQUIRED BY THE LANDSCAPE ARCHITECT. TREES THAT CANNOT STAND WITHOUT THE NURSERY STAKE SHALL BE REJECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE TREE'S STABILITY DURING THE LENGTH OF THE GUARANTEE PERIOD. ALL STAKING AND GUYING MATERIALS SHALL BE REMOVED AT THE END OF THE 1-YEAR TREE GUARANTEE PERIOD.
- DO NOT DAMAGE PLANT ROOTBALL DURING TRANSPORTATION OR PLANTING.
- CONTRACTOR SHALL USE THE FOLLOWING AMENDMENT SCHEDULE FOR BIDDING PURPOSES ONLY. A SOIL TEST SHALL BE MADE BY LANDSCAPE ARCHITECT, AND RECOMMENDED AMENDMENTS SHALL BE USED FOR ACTUAL INSTALLATION.
 - 100 LBS. OF GYPSUM PER 1000 SQ. FT.
 - 70 LBS. OF TRI-C (6-2-4 W 5% SULFUR) PER 1000 SQ. FT.
 - 8 LBS. OF IRON SULFATE PER 1000 SQ. FT.
 - 25 LBS. OF SOIL SULFUR PER 1000 SQ. FT.
 - 5 CUBIC YARDS OF NITROLIZED ORGANIC AMENDMENT PER 1000 SQ. FT. (SEE NOTE 16)
- ALL NATIVE PLANT PITS SHALL BE AMENDED WITH 1/5 NITROLIZED ORGANIC AMENDMENT, 4/5 NATIVE SOILS, 5 LBS. OF TRI-C (6-2-4) FERTILIZER, 4 LBS GYPSUM AND 1 LB SULFUR PER CUBIC YARD OF BACKFILL.
- AMENDED SOIL SHALL BE ROTOTILLED TO A DEPTH OF 8".
- NO IRON SULFATE SHALL COME IN CONTACT WITH ANY MASONRY SURFACE.
- NITROLIZED ORGANIC AMENDMENT SHALL BE HUMIC COMPOST FROM AGRI-SERVICE, LOAMEX™, OR APPROVED EQUAL.
- PLANTING BACKFILL MIX FOR ALL CONTAINER PLANTS EXCEPT FERNS, AZALEAS, CAMELLIAS, WISTERIA, JASMINUM, OPHIOPOGON, HIBBERTIAS, TRACHELOSPERMUM, ESCALLONIA, LIRIOPE, BEGONIAS, IMPATIENS, CLIVIAS, ROSES, OR AS NOTED IN PLAN, SHALL CONSIST OF 1/3 NITROLIZED ORGANIC AMENDMENT AND 2/3 EXISTING SOIL, PLUS 2-1/2 LBS. OF SOIL SULFUR, 2 LBS. IRON SULFATE PER CU. YD., 4 LBS. GYPSUM, AND 8 LBS. OF TRI-C (6-2-4 W 5% SULFUR) PER CUBIC YARD.
- PLANTING BACKFILL MIX FOR ALL FERNS, AZALEAS, CAMELLIAS, WISTERIA, JASMINUM, OPHIOPOGON, HIBBERTIAS, TRACHELOSPERMUM, ESCALLONIA, LIRIOPE, BEGONIAS, IMPATIENS, CLIVIAS, AND ROSES, SHALL CONSIST OF 1/3 EXISTING SOIL, 1/3 NITROLIZED ORGANIC AMENDMENT AND 1/3 THOROUGHLY WETTED PEATMOSS, AND OTHER AMENDMENTS NOTED IN 17A, MIXED TO A UNIFORM PLANTING MEDIUM, AND WATERED IN AFTER PLANTING.
- ALL PLANTED AREAS SHALL BE WATERED IN THOROUGHLY WITH SARVON™, PER MANUFACTURERS SPECIFICATIONS IN ADVANCE OF PLANTING.
- ALL PLANTS SHALL BE WATERED THOROUGHLY WITH SUPERTHRIVE™ WITHIN 1 HOUR OF PLANTING.
- ALL PLANTS 1-GALLON SIZE OR LARGER SHALL RECEIVE AGRIFORM 21-GRAM 20-10-5 FERTILIZER TABLETS AT THE FOLLOWING RATES:
 - ONE PER 1-GALLON; TWO PER 5-GALLON; FIVE PER 15-GALLON; 12 PER 24" BOXED TREES; 18 PER 36" BOXED TREES (SEE L.A. FOR RATES FOR LARGER STOCK). PLACE TABLETS AT HALF THE DEPTH OF THE PLANTING PIT AND 1" FROM ROOTBALL (BOXED TREES SHALL BE IN 2 LAYERS GOING UP ALONG SIDES OF THE ROOTBALL).
- ALL PLANTS INSTALLED FROM FLATS SHALL RECEIVE ONE AGRIFORM 5-GRAM 20-10-5 TABLET EACH, AND ALL 4" POTS SHALL RECEIVE TWO 5-GRAM TABLETS EACH, MIXED WITH A HANDFUL OF PREPARED BACKFILL PER NOTE 17.
- BOUGAINVILLEAS SHALL BE PLANTED WITH INTACT ROOTBALLS. NO BROKEN ROOTBALLS WILL BE ACCEPTED.
- ALL PLANTS EXCEPT BOUGAINVILLEAS PLANTED FROM CONTAINERS SHALL HAVE THEIR ROOTBALLS SCORED WITH A SHARP TOOL TO A DEPTH OF 1" IN THREE LONGITUDINAL INCISIONS AT LOCATIONS SPACED AROUND THE ROOTBALL BEFORE PLACING PLANT IN PLANTING HOLE.
- ALL TYING MATERIALS AND MARKING TAPES SHALL BE REMOVED AT THE TIME OF PLANTING.
- STAKES SHALL BE REMOVED FROM VINES AND VINES SHALL BE PROVIDED WITH AN APPROVED MEANS OF SUPPORT.
- ALL SHRUB PLANTING AREAS SHALL BE COVERED WITH A 3" DEEP LAYER OF SHREDDED FIR BARK, OR APPROVED EQUAL. ALL BARK TO BE NITROLIZED WITH 5% NITROGEN. WHEN GRAVEL OR COBBLE GROUND COVER IS USED, A LANDSCAPE FILTER FABRIC MUST BE INSTALLED, WITH AN OVERLAP OF 12" MIN. BETWEEN ROLLS AND FASTENED WITH STAPLES FLUSH TO THE FABRIC TO PREVENT MOVEMENT.
- IF THE SOIL TEST PREVIOUSLY MENTIONED SHOWS THAT PERMEABILITY RATES ARE LESS THAN 5" PER HOUR, LANDSCAPE ARCHITECT MAY REQUIRE A TREE DRAIN SYSTEM.
- A LANDSCAPE MAINTENANCE PERIOD OF 90 DAYS SHALL BE CONSIDERED PART OF THIS CONTRACT. REFER TO THE PROJECT SPECIFICATIONS FOR DETAILS.



PLANTING PLAN
SCALE 1/16" = 1'-0"



IRRIGATION SCHEMATIC

N.T.S.



2643 4th Avenue
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phone 619.544.1977
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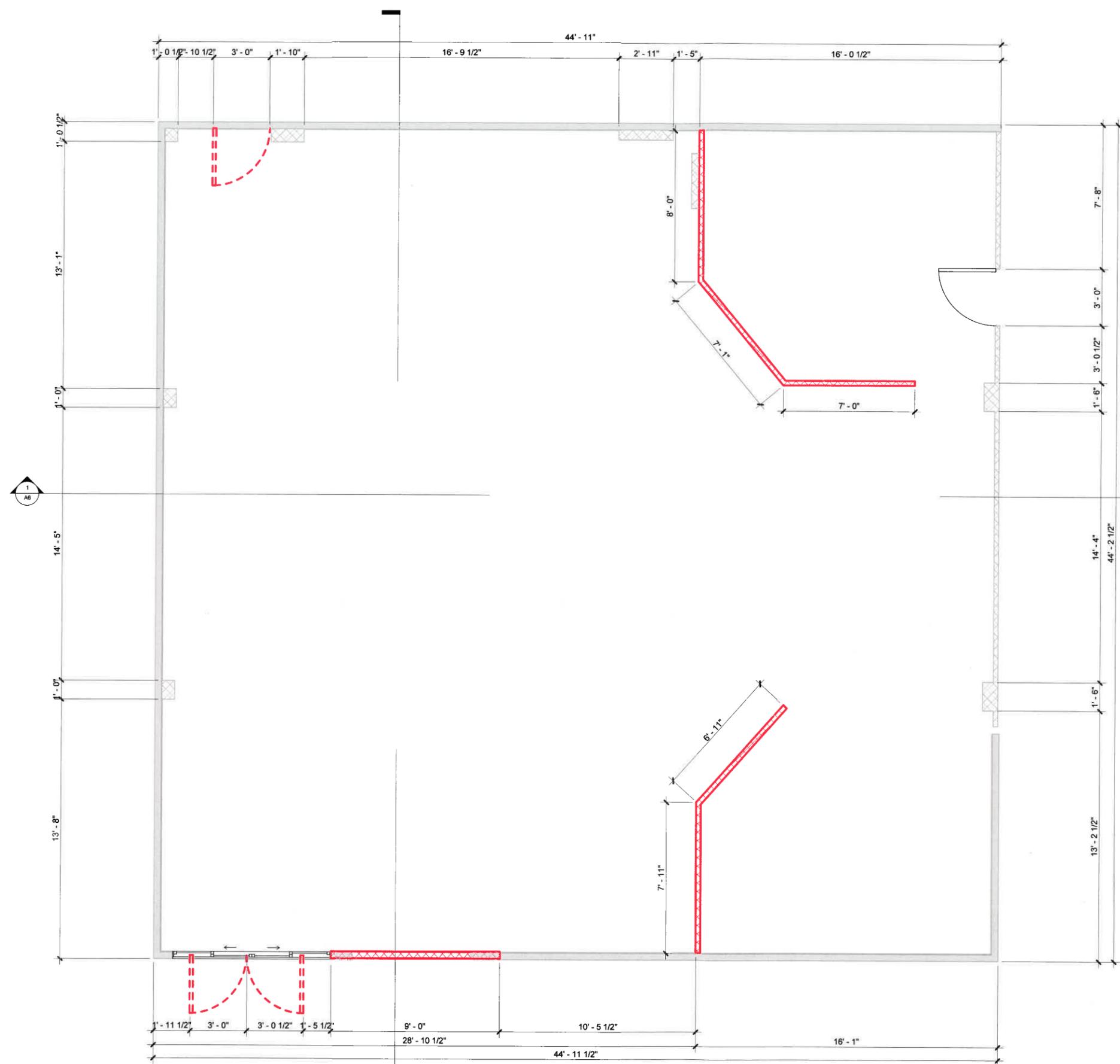


PACHECO BLVD.
3503 PACHECO BLVD
MARTINEZ, CA 94553

SUBMIT. TO CLIENT 03.03.20

PLANTING PLAN

SHEET
L1.0



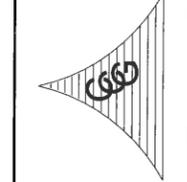
1 DEMO PLAN
3/8" = 1'-0"

WALL LEGEND:

-  EXISTING WALL
-  NEW NON INSULATED WALL 2X4 WALL SET @ 16" O.C. W/ 5/8" GYPSUM BOARD INTERIOR BOTH SIDE.
-  EXISTING WALL TO BE DEMOLISHED

Issue Date			
#	DATE	REVISIONS	BY

CONCORDE ENTERPRISES
(DESIGN/ENGINEERING)
SERVING ALL OF CALIFORNIA
3505 CAMINO DEL RIO SOUTH #332
SAN DIEGO CA. 92108
PH: (619) 248-9574
CONCORDECONSULT2@AOL.COM



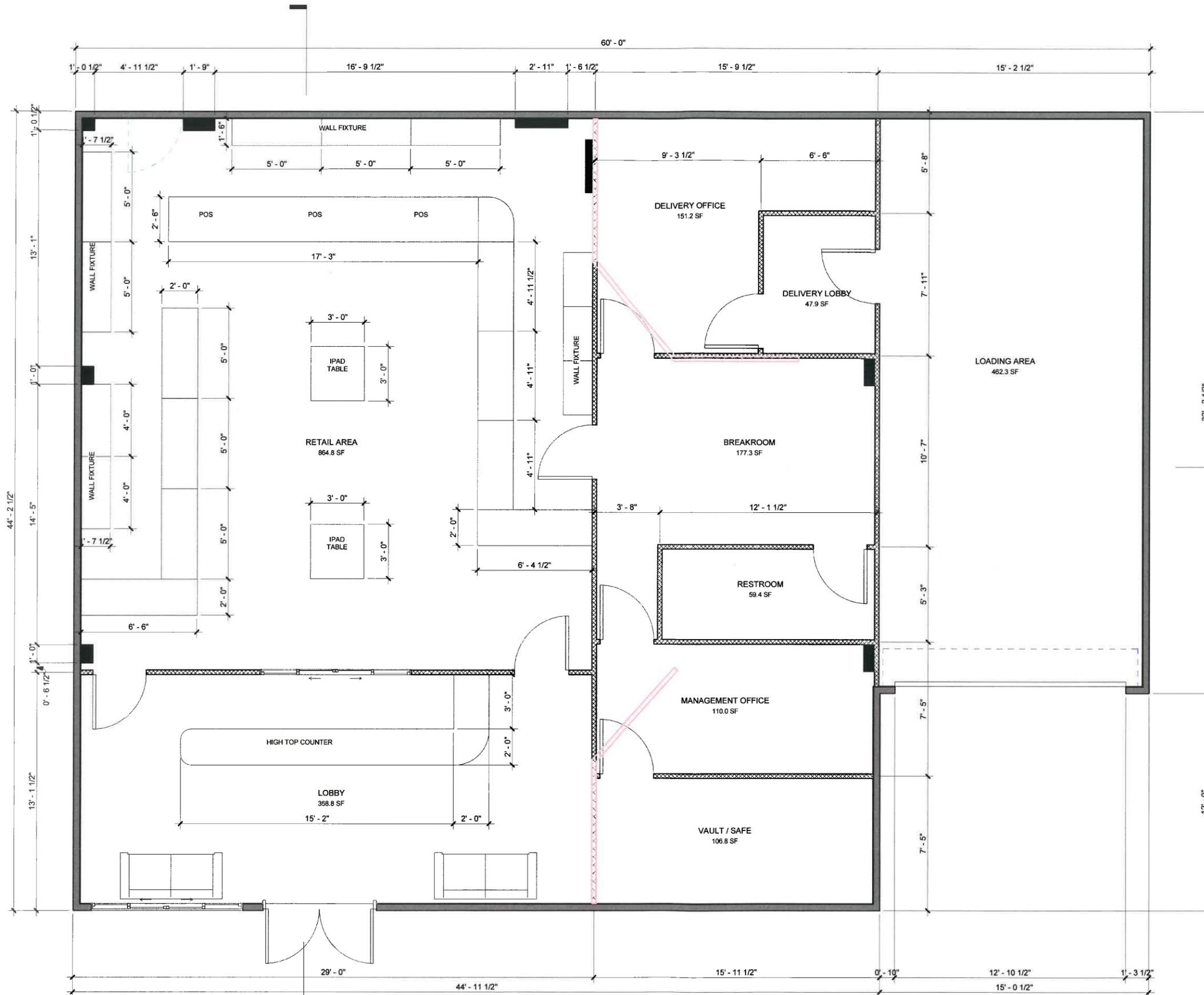
The contractor shall verify and be responsible for all dimensions and conditions on the job and this office must be notified in writing of any variation from the dimensions and conditions shown by these drawings.

PREPARED FOR:
Embarc Contra Costa 3503 Pacheco Boulevard, Martinez, CA 94553

SHEET TITLE
EXISTING FLOOR PLAN & DEMO PLAN

SCALE: 3/8" = 1'-0"
DRAWN BY: Author
CHECKED BY: Checker
START DATE: Issue Date
JOB NO.: Project Number

SHEET NUMBER
A2



FLOOR PLAN

3/8" = 1'-0"

WALL LEGEND:

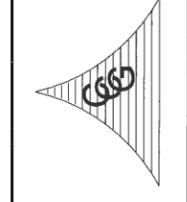
- EXISTING WALL
- NEW NON INSULATED WALL 2X4 WALL SET @ 16" O.C. W/ 5/8" GYPSUM BOARD INTERIOR BOTH SIDE.
- EXISTING WALL TO BE DEMOLISHED

AREA TABULATION

Name	Area
RETAIL AREA	897.7 SF
LOADING AREA	477.3 SF
MAIN LOBBY	378.5 SF
BREAK ROOM	187.3 SF
DELIVERY OFFICE	162.4 SF
MANAGEMENT OFFICE	117.9 SF
VAULT / SAFE	117.1 SF
REST ROOM	64.3 SF
DELIVERY LOBBY	52.4 SF
Grand total	2454.9 SF

#	DATE	REVISIONS	BY

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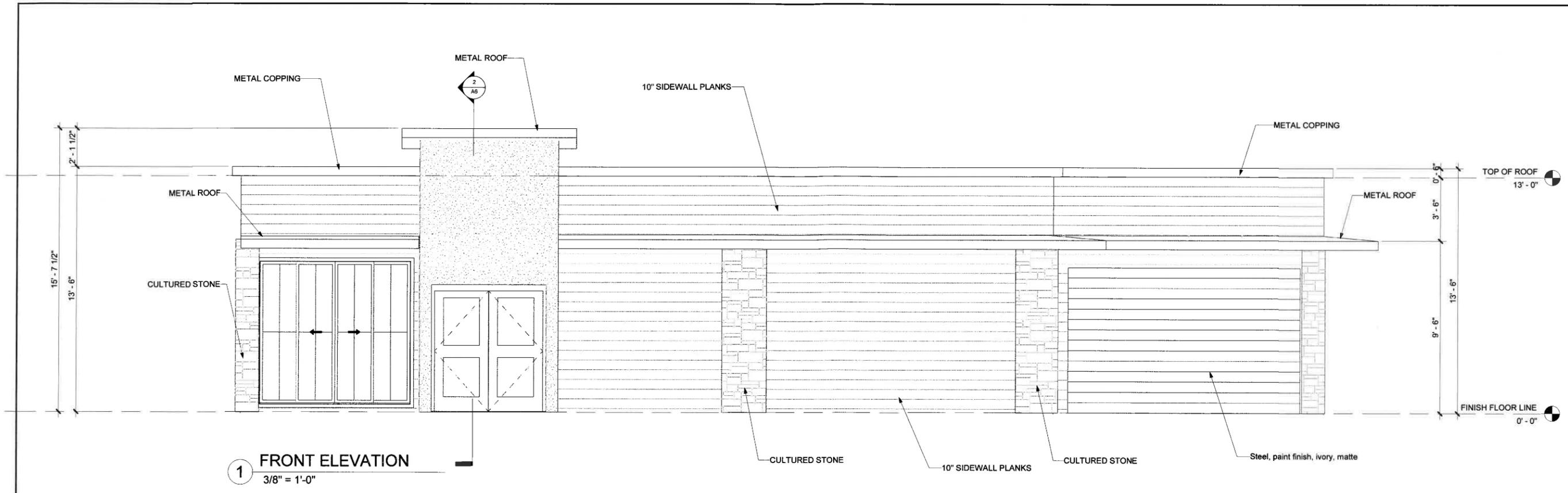
The contractor shall verify and be responsible for all dimensions and conditions on the job and this office must be notified in writing of any variation from the dimensions and conditions shown by these drawings.

PREPARED FOR:
Embarc Contra Costa 3503 Pacheco Boulevard, Martinez, CA 94553

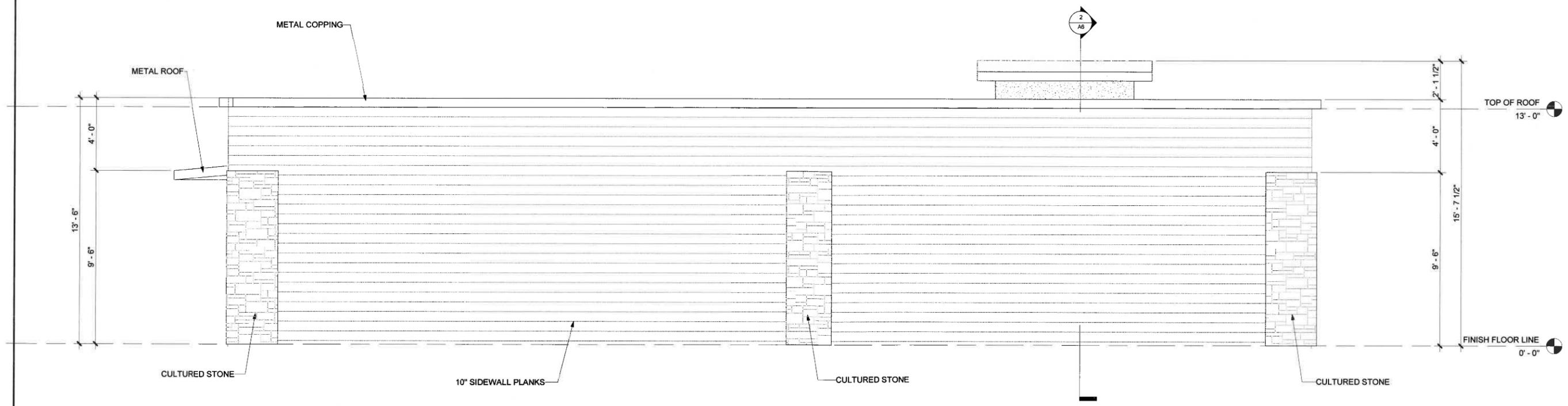
SHEET TITLE
PROPOSED FLOOR PLAN

SCALE: 3/8" = 1'-0"
 DRAWN BY: C. BRIZUELA
 CHECKED BY: Checker
 START DATE: Issue Date
 JOB NO.: Project Number

SHEET NUMBER
A3



1 FRONT ELEVATION
3/8" = 1'-0"



2 REAR ELEVATION
3/8" = 1'-0"

Issue Date		
#	DATE	REVISIONS
		BY

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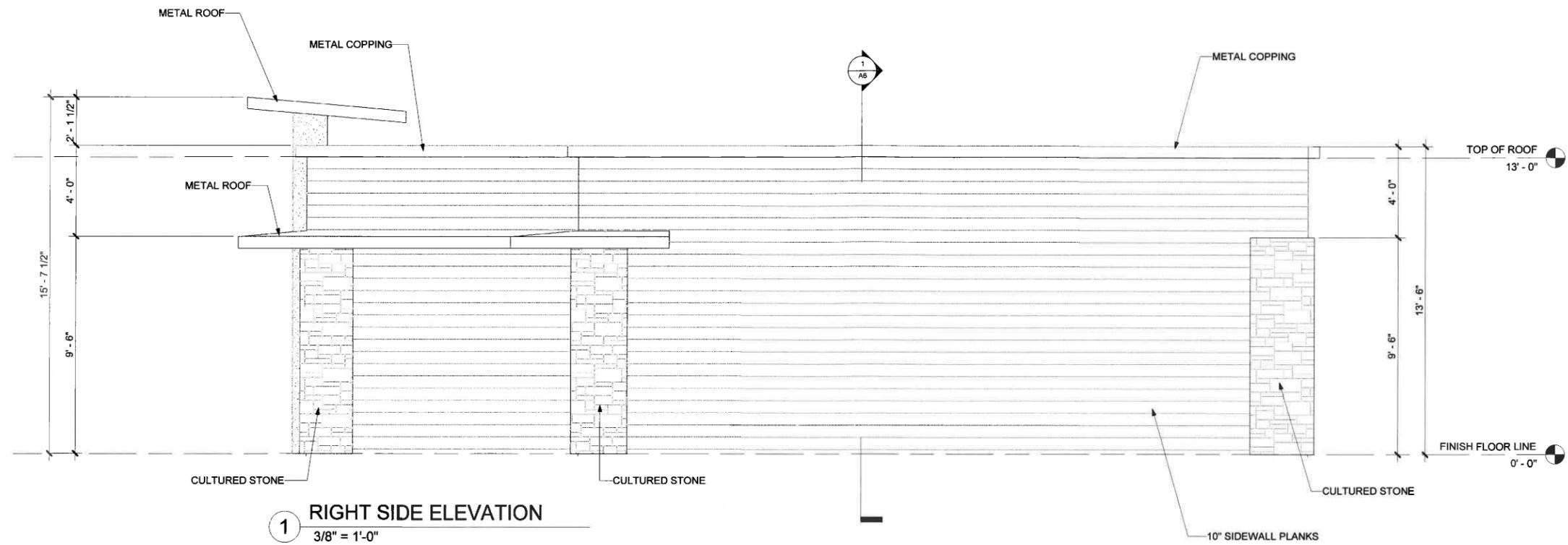
The contractor shall verify and be responsible for all dimensions and conditions on the job and this office must be notified in writing of any variation from the dimensions and conditions shown by these drawings.

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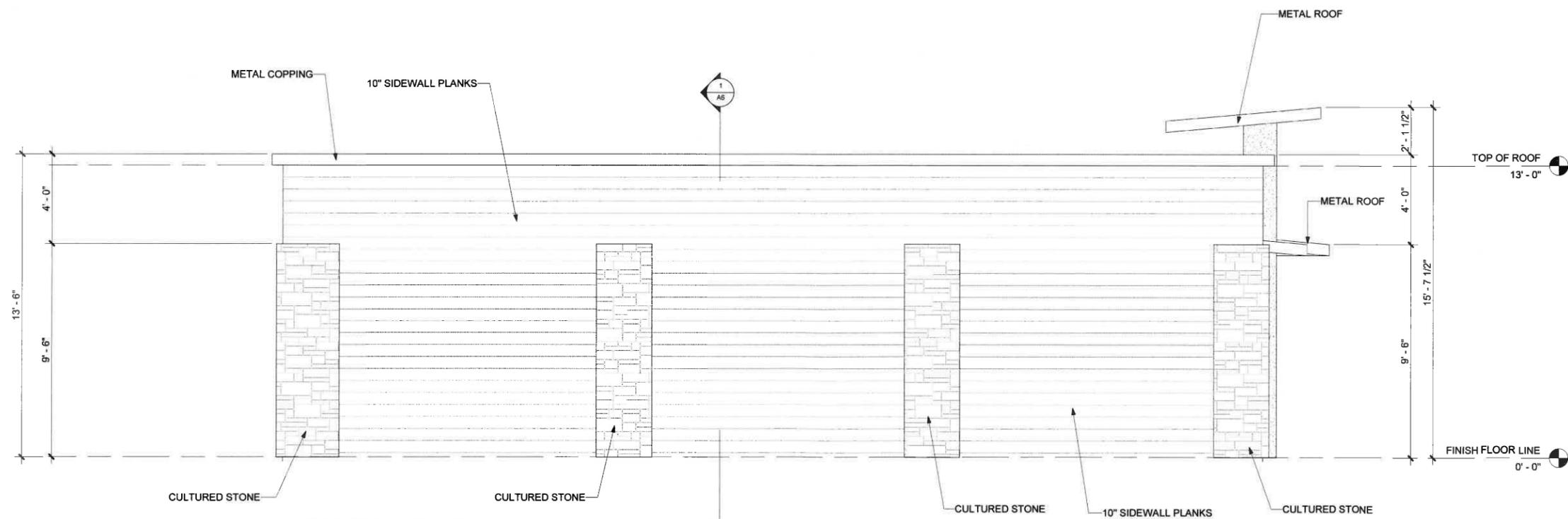
SHEET TITLE
 ELEVATIONS

SCALE 3/8" = 1'-0"
 DRAWN BY Author
 CHECKED BY Checker
 START DATE Issue Date
 JOB NO. Project Number

SHEET NUMBER
A4



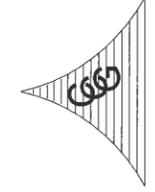
1 RIGHT SIDE ELEVATION
3/8" = 1'-0"



2 LEFT SIDE ELEVATION
3/8" = 1'-0"

Issue Date			

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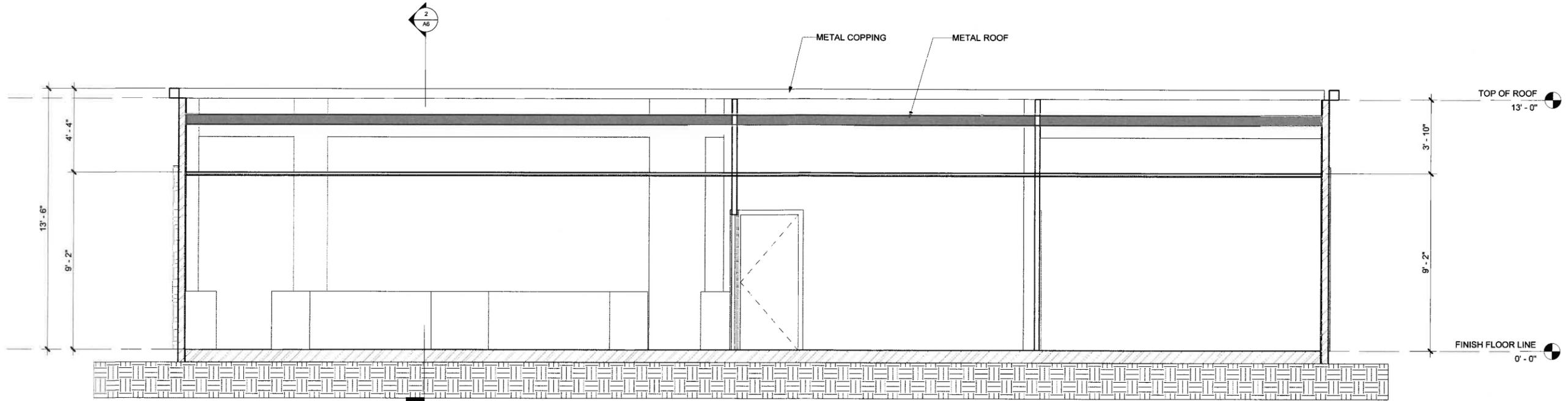
The contractor shall verify and be responsible for all dimensions and conditions on the job and this office must be notified in writing of any variation from the dimensions and conditions shown by these drawings.

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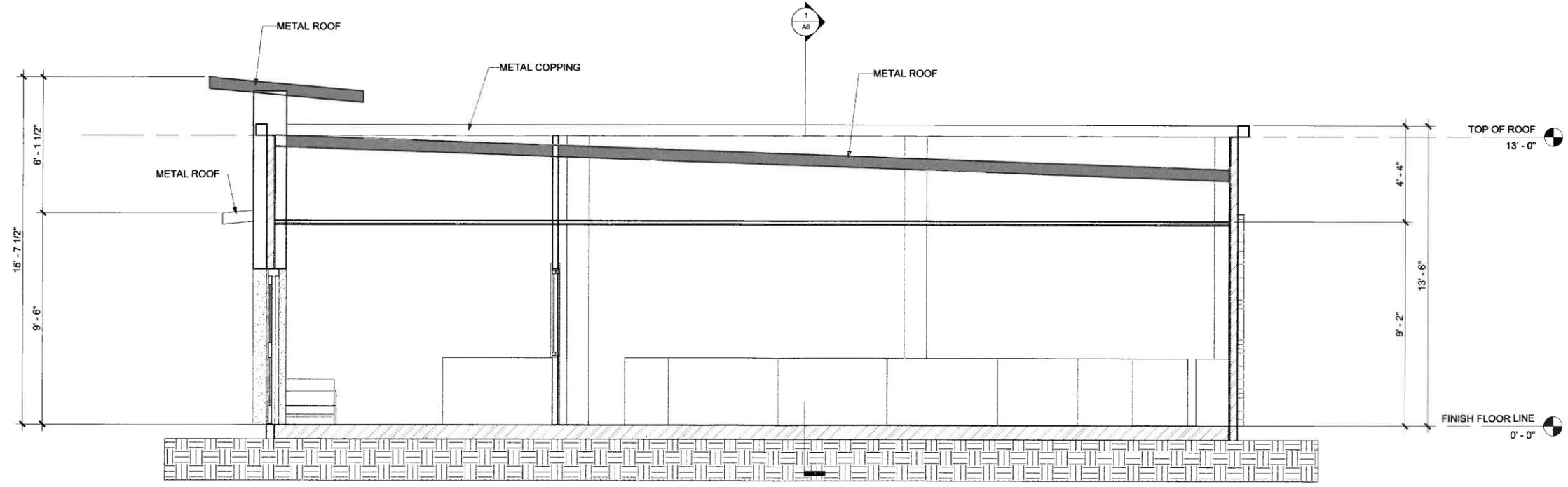
SHEET TITLE
ELEVATIONS

SCALE 3/8" = 1'-0"
DRAWN BY Author
CHECKED BY Checker
START DATE Issue Date
JOB NO. Project Number

SHEET NUMBER
A5



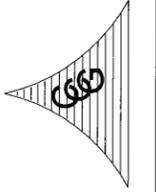
1 Section 1
3/8" = 1'-0"



2 Section 2
3/8" = 1'-0"

Issue Date		
#	DATE	REVISIONS BY

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Boulevard, Martinez, CA 94553

SHEET TITLE
SECTIONS

SCALE 3/8" = 1'-0"
DRAWN BY Author
CHECKED BY Checker
START DATE Issue Date
JOB NO. Project Number

SHEET NUMBER
A6

